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SITE DATA

1. **CONTRACT OWNER / DEVELOPER:**
HPOC PARTNERS LLC
P.O. BOX 682
VIRGINIA BEACH, VA 23451
PHONE: (757) 321-1710
FAX:
ATT: HUGH TIERNEY
htierney@empiredevelopment.net
2. **ENGINEER:**
BURGESS & NIPLE
4112 INNSLAKE DRIVE
GLEN ALLEN, VA 23060
PHONE (804) 320-2667 • FAX (804) 323-5131
ATT: ALVIN (SPUD) MISTR
spud.mistr@burgessniple.com
3. **GPIN #:** 782-753-6258
4. **ADDRESS:** VILLA PARK DRIVE
5. **ACREAGE:** 4.214 ACRES
6. **ZONING:** O-S (C-87C-86)
7. **PROPOSED USE:** OFFICE
8. **PREVIOUS APPROVAL:**
A. POD # _____
B. ADMINISTRATIVE # _____
C. ZONING CASE # _____ C-87C-86
D. VARIANCE (BZA) CASE # _____
E. PROVISIONAL USE PERMIT # _____
F. SPECIAL EXCEPTION (CONDITIONAL USE) # _____
9. **UTILITIES:**
- | | | |
|--------------|---|-----------------------------|
| COUNTY WATER | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> |
| COUNTY SEWER | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> |
| WELL | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| SEPTIC | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| OTHER | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
10. **PARKING SCHEDULE:**
- A. # SPACES REQUIRED 26
- B. BASIS FOR PARKING CALCULATIONS
(1 SPC / 250 SF) x 6400 SF = 26 SPACES REQUIRED
- C. # SPACES PROVIDED 50
- D. # ACCESSIBLE SPACES PROVIDED 2
INCLUDING 2 VAN ACCESSIBLE
- E. INTERIOR GREENSPACE CALCULATIONS
(50 SPC / 162 SF) (0.5) = 405 SF. REQUIRED
PROVIDED _____ SF. PROVIDED
11. **PEAK HOUR TRIP GENERATION**
12. **SPECIAL FLOOD HAZARD AREA INFORMATION**
SPECIAL FLOOD HAZARD AREA (FLOOD PLAIN)
YES ☐ NO ☒
13. **BUILDING INFORMATION**
A. SQ. FOOTAGE OF BUILDING _____
B. NUMBER OF STORIES _____
C. NUMBER OF UNITS _____
D. CONSTRUCTION TYPE _____
E. SPRINKLERED YES ☐ NO ☐
F. USE GROUP(S) _____
G. MEDICAL OFFICE YES ☐ NO ☐
14. **TREE CANOPY CALCULATIONS**
15. **DENSITY CALCULATIONS**
16. **OTHER MISCELLANEOUS CALCULATIONS**
- ENTIRE SITE IS RMA

SHEET INDEX

- C0.01 OF 12 COVER SHEET
C1.01 OF 12 EXISTING CONDITIONS
C1.02 OF 12 PROFFERS AND APPROVAL LETTERS
C2.01 OF 12 SITE & UTILITY PLAN
C2.02 OF 12 SITE & UTILITY DETAILS
C3.01 OF 12 GRADING & DRAINAGE PLAN
C4.01 OF 12 EROSION CONTROL PLAN - PHASE 1
C4.02 OF 12 EROSION CONTROL PLAN - PHASE 2
C5.01 OF 12 STANDARD CONSTRUCTION NOTES AND DETAILS
C5.02 OF 12 EROSION & SEDIMENT CONTROL - STANDARD DETAILS AND CALCULATIONS
C5.03 OF 12 EROSION & SEDIMENT CONTROL - STANDARD NOTES
C6.01 OF 12 CONCEPTUAL LANDSCAPE & LIGHTING PLAN

GENERAL NOTES

1. THE EXISTING TOPO SHOWN ON THESE PLANS IS BASED ON A FIELD SURVEY PERFORMED ON 04-2014 AND IS CERTIFIED BY JONATHAN D. BEHR.
2. VERTICAL DATUM: NAVD 88
3. BUILDING SETBACK LINES SHALL CONFORM TO CHAPTER 24 OF THE HENRICO COUNTY CODE.
4. POD APPROVAL GRANTED BY THE PLANNING COMMISSION 00-00-0000.
5. ENTIRE SITE IS WITHIN AN RMA.
6. ALL OF THIS SITE IS LOCATED IN A CHESAPEAKE BAY PRESERVATION AREA WHICH IS SUBJECT TO THE PROVISIONS OF SECTION 24-106.3 OF CHAPTER 24 OF THE HENRICO COUNTY CODE.
7. THIS PROPERTY IS IN FLOOD ZONE AREA "X" (AREAS OF 0.2% CHANCE OF ANNUAL FLOOD) AS DEFINED BY THE EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NUMBER 51087C0065C, EFFECTIVE DATE DECEMBER 18, 2007.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THE PLAN.
9. VIRGINIA LAW REQUIRES THE CONTRACTOR NOTIFY MISS UTILITY AT 1-800-552-7001 AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBANCE. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF UNDERGROUND UTILITIES. THE UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED USING ABOVE GROUND STRUCTURES (VALVES, METERS, MANHOLES, ETC.) AND AVAILABLE UTILITY MAPS. PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER ALL UTILITIES WHICH ARE SHOWN ON THE PLANS OR WHICH HAVE BEEN MARKED BY MISS UTILITIES AS BEING IN THE AREA OF EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE VERTICAL AND HORIZONTAL MEASUREMENTS ADEQUATE TO DETERMINE IF ANY CONFLICT WILL OCCUR. IF ANY POTENTIAL CONFLICT IS FOUND, THE CONTRACTOR SHALL NOTIFY THE SITE ENGINEER PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REINSTALLING AT HIS EXPENSE ANY UTILITY WHICH MUST BE RELOCATED BECAUSE OF A CONFLICT WHICH WAS NOT REPORTED TO THE SITE ENGINEER PRIOR TO THE BEGINNING OF ANY EXCAVATION OR CONSTRUCTION.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ALL EXISTING VALVES, MANHOLES, FIRE HYDRANTS, ETC. AS MAY BE REQUIRED BY PROPOSED GRADES.
11. ALL EXISTING FEATURES IN CONFLICT W/ NEW DEVELOPMENT (eg. PIPE CULVERTS, CURB & GUTTER, etc.) SHALL BE REMOVED AND DISPOSED OF PROPERLY AWAY FROM SITE.
12. ALL AREAS NOT PAVED, LANDSCAPED OR UNDER CONSTRUCTION FOR FUTURE DEVELOPMENT SHALL BE SEEDED AND MULCHED WITH STRAW IN ACCORDANCE WITH THE PERMANENT SEEDING STANDARDS IN THE VES&SCH, 1992.

TRAFFIC IMPACT ANALYSIS DEVELOPER'S / ENGINEER'S CERTIFICATION

I HAVE, IN ACCORDANCE WITH SECTION 15.2-2222.1 OF THE CODE OF VIRGINIA AND ITS SUPPORTING REGULATIONS, 24VAC 30-155-50, EXAMINED THE CRITERIA THAT REQUIRE THAT A TRAFFIC IMPACT ANALYSIS BE SUBMITTED TO VDOT VIA THE LOCALITY, IF THE PROPOSAL WILL SUBSTANTIALLY AFFECT TRANSPORTATION ON STATE CONTROLLED HIGHWAYS, AND HAVE DETERMINED THAT THE ABOVE REFERENCED PROPOSAL:

☐ **DOES NOT** REQUIRE SUBMISSION OF A SUPPLEMENTAL TRAFFIC ANALYSIS (STA) PER 527 REGULATIONS FOR THIS PROPOSED PLAN.

☐ **DOES** REQUIRE SUBMISSION OF A SUPPLEMENTAL TRAFFIC ANALYSIS (STA) PER 527 REGULATIONS FOR THIS PROPOSED PLAN.

EROSION CONTROL QUANTITIES (FOR BOND PURPOSES ONLY)

ITEM	QUAN- TITY	UNIT	UNIT COST	SUB-TOTAL
3.01 ORANGE SAFETY FENCE (TP-1)	0	LF	\$2,200.00	\$0.00
3.02 CONSTRUCTION ENTRANCE	1	EA	\$750.00	\$750.00
3.05 SILT FENCE	0	LF	\$4.00	\$0.00
SUPER SILT FENCE	0	LF	\$4.00	\$0.00
3.07 INLET PROTECTION	0	EA	\$50.00	\$0.00
3.09 TEMPORARY DIVERSION DIKE	0	LF	\$4.00	\$0.00
3.13 TEMPORARY SEDIMENT TRAP	0	CY	\$5.50	\$0.00
3.14 TEMPORARY SEDIMENT BASIN	0	CY	\$5.50	\$0.00
RISER STRUCTURE	0	EA	\$3,000.00	\$0.00
3.18 OUTLET PROTECTION	0	TON	\$20.00	\$0.00
3.38 NON-TEARABLE YELLOW & BLACK BARRICADE TAPE (TP-2)	0	LF	\$1.00	\$0.00
TEMPORARY STOCKPILE	0	CY	\$5.50	\$0.00
LAND DISTURBANCE	0	AC	\$2,122.00	\$0.00

PLAN OF DEVELOPMENT HCPD - CENTRAL PRECINCT VILLA PARK DRIVE

FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA



VICINITY MAP

SCALE 1" = 2000'



THESE WATER AND SEWER PLANS COMPLY WITH THE REQUIREMENTS OF P.O.D. No. 000-00. PROPOSED EASEMENTS AND UTILITY ALIGNMENTS ARE AS SHOWN ON THE P.O.D. NO BMP'S, BERMS, LIGHTING, TREES OR OTHER STRUCTURES SHALL BE PLACED IN WATER OR SEWER EASEMENTS. ANY EXCEPTIONS TO THE STANDARDS OR ANY PROFFERS THAT APPLY TO AREAS OF PROPOSED WATER AND SEWER EASEMENTS ARE LISTED AS FOLLOWS: NONE.

EXCEPTIONS GRANTED

DATE	DEPT(S)	DESCRIPTION

ENGINEER'S CERTIFICATION

TO THE BEST OF MY KNOWLEDGE, THIS PLAN SATISFIES ALL ZONING CODE REQUIREMENTS, CONDITIONS OF APPROVAL, AND PROFFERS.

SIGNATURE

IN ACCORDANCE WITH SEC. 10-36 OF THE CODE OF THE COUNTY OF HENRICO, I HEREBY CERTIFY THAT I AM THE RESPONSIBLE LAND DISTURBER FOR THIS PROJECT AND THAT I HAVE A VALID CERTIFICATION FROM THE STATE OF VIRGINIA.

SIGNATURE

NAME (PRINT)

DATE

REVISIONS TO APPROVED PLANS

NO.	DATE	DESCRIPTION

DEPARTMENT OF PLANNING APPROVAL BLOCK

APPROVED BY THE COUNTY OF HENRICO
BOARD OF SUPERVISORS

DATE

COUNTY MANAGER

APPROVED BY:
THE HENRICO COUNTY
PLANNING COMMISSION

APPROVED BY:
THE HENRICO COUNTY
PLANNING DEPARTMENT

PC DATE

☐ ACTING SECRETARY
DATE

DATE

☐ COUNTY PLANNER
☐ PRINCIPAL PLANNER

☐ THIS APPROVAL ENCOMPASSES
ONLY THOSE REVISIONS NOTED
IN THE LETTER OF APPROVAL.

☐ AS INDICATED IN RED

YES ☐ NO ☐

10 DAY EXPEDITED
SIGNATURE PROCESS

AUTHORIZATION TO BEGIN WATER AND SEWER
CONSTRUCTION WILL BE PROVIDED AT THE DPU
PRECONSTRUCTION MEETING.

DEPARTMENT OF PUBLIC UTILITIES POD APPROVAL

FOR WATER AND SANITARY SEWER ONLY, SUBJECT
TO COUNTY SPECIFICATIONS.

APPROVED BY: _____ DATE _____

APPROVAL FOR WATER AND SEWER EXPIRES: _____

NOTE:
WATER AND SEWER SYSTEMS FOR THIS PROJECT WILL BE
ACCEPTED AND WATER METERS WILL BE SET AFTER ADJACENT
UTILITIES TO WHICH THEY CONNECT HAVE BEEN ACCEPTED BY
THE COUNTY FOR OPERATION.

DPU PRE-CONSTRUCTION MEETING

DPU INSPECTOR

DATE

D.P.U. #

DEPARTMENT OF PUBLIC WORKS APPROVAL BLOCK

DIRECTOR OF PUBLIC WORKS

DATE

DATE

DESIGN ENGINEER

DATE

ENVIRONMENTAL ENGINEER

DATE

TRAFFIC ENGINEER

DATE

ENVIRONMENTAL INSPECTOR

☐

AS INDICATED IN RED

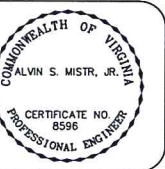
D.P.W. #

DISTRIBUTION BY DPW:

_____ PUBLIC UTILITIES (S) _____ ENGINEER
_____ PERMIT CENTER _____ FIRE
_____ EASTERN GOVERNMENT CENTER

COVER SHEET

HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA

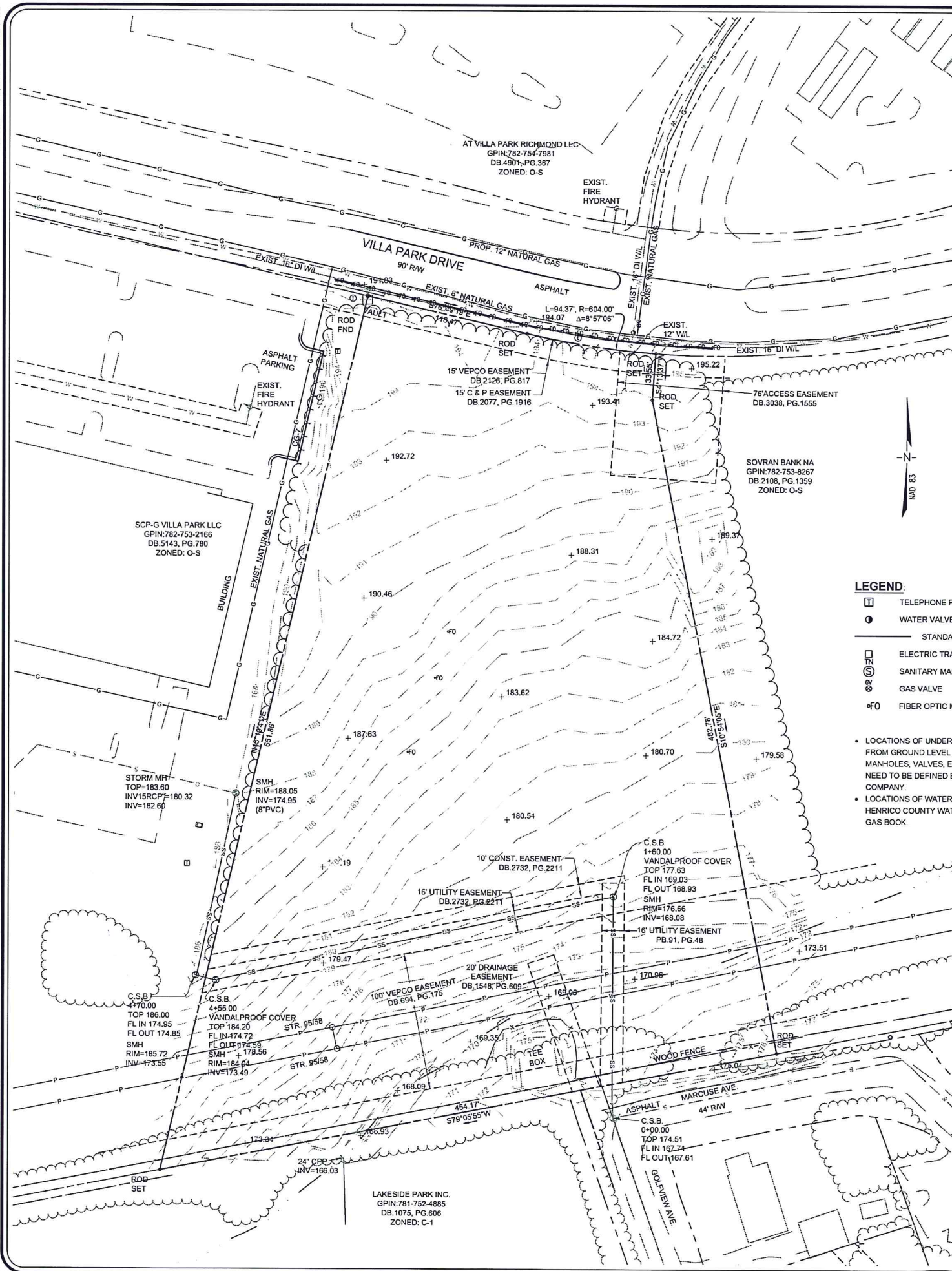





DATE: JUNE 19, 2014
SCALE: AS SHOWN
DESIGN: ASM DRAWN: DMS
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JOB NO.: _____
P.R. NO.: PR53012
SHEET C0.01 OF 12
FILE NO.: C0.00 COVR.dwg

BURGESS & NIPLE
ENGINEERS • SURVEYORS • PLANNERS
5101 COX ROAD, SUITE 150, GLEN ALLEN, VA 23060
PHONE (804) 320-2667 FAX (804) 323-5131

POD # 000-00

6/30/2014 3:18:37 PM Hammonds, Brett



	TELEPHONE PEDESTAL
	WATER VALVE
<hr/>	
	STANDARD CONCRETE CURB
	ELECTRIC TRANSFORMER
	SANITARY MANHOLE
	GAS VALVE
	FIBER OPTIC MARKER

- LOCATIONS OF UNDERGROUND UTILITIES NOT VISIBLE FROM GROUND LEVEL BY MEANS OF INSPECTION PORTS, MANHOLES, VALVES, ETC., ARE APPROXIMATE AND WILL NEED TO BE DEFINED BY AN UNDERGROUND LOCATIONS COMPANY.
- LOCATIONS OF WATER AND GAS MAINS ARE TAKEN FROM HENRICO COUNTY WATER BOOK AND CITY OF RICHMOND GAS BOOK.

EXISTING CONDITIONS

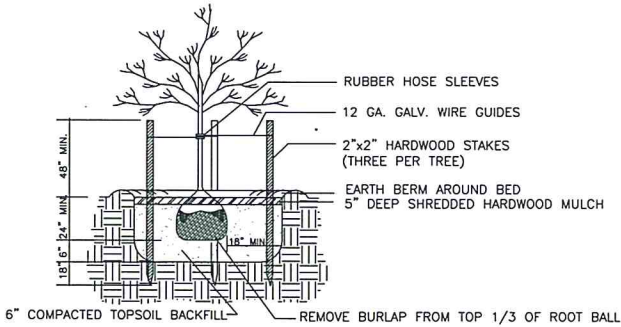
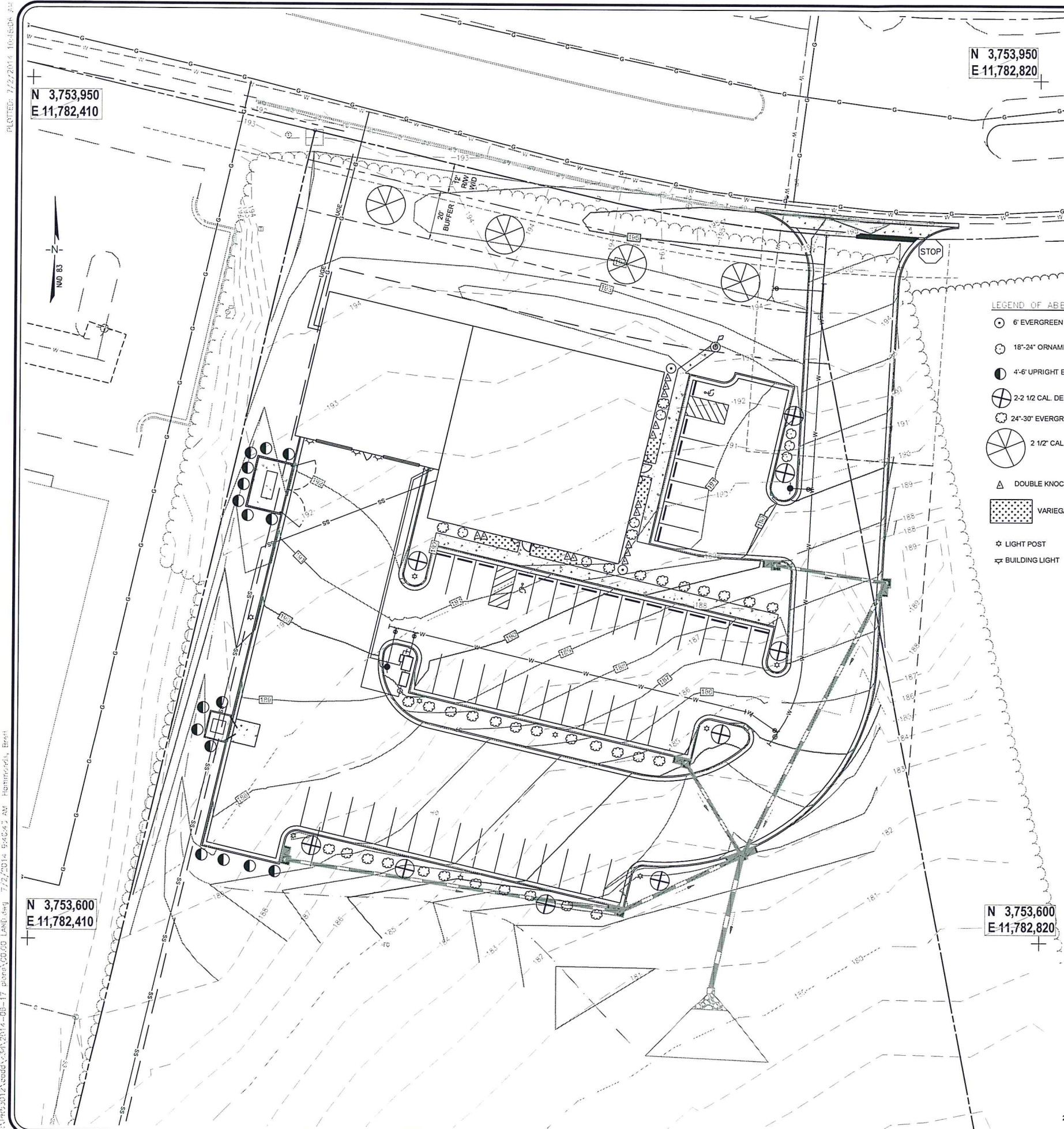
HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA



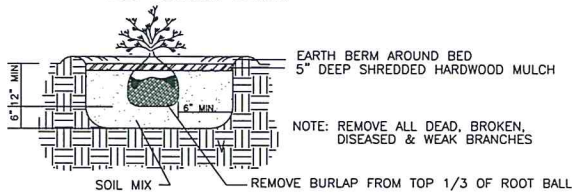
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PHONE (804) 320-2667 FAX (804) 323-5131

CWB/CSB 203NW, 263SE, 264SW



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

GENERAL PLANTING INFORMATION

N.T.S.

GENERAL NOTES

- ALL PLANTS SHALL CONFORM TO CURRENT ANI STANDARDS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.
- OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT ALL MATERIALS AT SOURCE.
- PLANTING MIX SHALL CONSIST OF A UNIFORM MIXTURE OF 75% TOPSOIL, 20% CLEAN SAND AND 5% COMPOSTED COW MANURE.
- FERTILIZE ALL PLANTS PRIOR TO COMPLETION WITH OSMOCOTE 14-14-14 PER MANUFACTURER'S LABEL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL MAINTAIN A CURRENT MISS UTILITY NUMBER THROUGHOUT WORK PERIOD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND WATERING OF ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL PROVIDE OWNERS REPRESENTATIVE WITH DETAILED, WRITTEN LANDSCAPE MAINTENANCE INSTRUCTIONS PRIOR TO FINAL ACCEPTANCE.
- REMOVE ALL HOSE, WIRE AND STAKES AT END OF GUARANTEE PERIOD, OR 1 YEAR AFTER INSTALLATION.
- ALL SELECTIVE THINNING AND CLEAR VIEWING SHALL BE DONE AT THE DIRECTION OF OWNER'S REPRESENTATIVE.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING TREES FROM ANY DAMAGE DUE TO LANDSCAPE WORK.
- IN AREAS WHERE PLANTING OCCURS IN WET SOILS, RAISE PLANT 4" ABOVE NORMAL PLANTING DEPTH AND PROVIDE 4" #66 STONE AT BOTTOM OF PLANTING PIT. SHAPE SURROUNDING GRADE TO MATCH.
- ALL PLANTING MATERIAL SHALL BE MAINTAINED IN A MULCH BED AND ALL BEDS SHALL BE MULCHED AND EDGED CLEARLY WHERE ADJACENT TO ANY EXISTING LAWN, SODDED, OR SEED AREA.
- FIELD ADJUSTMENTS MAY BE NECESSARY BECAUSE OF SITE CONDITIONS (EX. ROOT BALL AND UTILITY CONFLICT). MAJOR ADJUSTMENTS MUST BE APPROVED BY LANDSCAPE ARCHITECT. "MISS UTILITY" MUST BE CONTACTED BEFORE ANY PLANTING OR GRADING CAN COMMENCE.
- ROUGH GRADING AND SPREADING OF TOPSOIL SHALL BE DONE BY GENERAL SITE CONTRACTOR. ANY FINE GRADING ASSOCIATED WITH PLANTING SHALL BE DONE BY THE LANDSCAPE CONTRACTOR.
- IF SOMEONE OTHER THAN THE ENGINEER (OWNER, BUILDER, ETC.) ADVERTISES, SOLICITS, AND/OR RECEIVES BIDS FOR WORK, THE LANDSCAPE CONTRACTOR SHALL STILL PROVIDE UNIT COPIES OF UNIT PRICE BID TO THE ENGINEER.
- TREE PROTECTION MEASURES SHALL BE CONSTRUCTED BEFORE ANY CLEARING MEASURES BEGIN. REMAIN IN PLACE AT ALL TIMES AND PROPERLY MAINTAINED UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- WHEN A PLAN REQUIRES A TREE PROTECTION DEVICE AND AN EROSION CONTROL DEVICE, THE EROSION CONTROL DEVICE SHALL BE ON THE UPGRADE SIDE OF THE TREE PROTECTION FENCING.
- ALL AREAS NEXT TO MULCH BEDS AND TREE PLANTINGS SHALL BE PERMANENT SEEDDED, UNLESS OTHERWISE SPECIFIED.
- LANDSCAPE CONTRACTOR SHALL REFER TO THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE STATE OF VIRGINIA FOR ADDITIONAL INFORMATION. THE CONTRACTORS SHALL ABIDE BY ITS CONTENTS; HOWEVER ANY NOTES OR SPECIFICATIONS ON PLANS SHALL SUPERSEDE THOSE OUTLINED IN THE SPECIFICATIONS MANUAL. (COPIES ARE AVAILABLE FOR A FEE FROM THE VIRGINIA CHAPTER OF LANDSCAPE ARCHITECTS, THE VIRGINIA NURSERYMEN'S ASSOCIATION, INC. AND THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS.)
- REFER TO CIVIL ENGINEERING PLANS FOR ANY DETAILED SITE INFORMATION.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AMOUNT OF ANY LAWN COVERAGE AS INDICATED ON PLANS.
- THE DEPARTMENT OF PUBLIC UTILITIES AND THE DEPARTMENT OF PUBLIC WORKS ARE NOT RESPONSIBLE FOR REPLACEMENT OF ANY PLANTINGS, IRRIGATION OR LIGHT POLES DAMAGED OR REMOVED BY THE DEPARTMENT OF PUBLIC UTILITIES OR PUBLIC WORKS, OR THEIR AGENTS, AS REQUIRED FOR MAINTENANCE OF COUNTY OWNED WATER AND SEWER, DRAINAGE FACILITIES OR ROADWAYS.

GENERAL LANDSCAPING NOTES

ALL WORK IN THE RIGHTS OF WAY SHALL CONFORM TO THE STDs. & SPECS. OF VDOT.

ALL PLANT MATERIALS SHALL COMPLY WITH "STANDARD PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE AND/OR HORTICULTURE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANT MATERIAL SHALL BE GUARANTEED DURING INSTALLATION AND UNTIL FINAL PROJECT ACCEPTANCE. ANY PLANT MATERIAL WHICH DIES, IS DAMAGED OR DISEASED, OR IS UNHEALTHY AND IN AN UNSIGHTLY CONDITION, OR OTHER CAUSES DUE TO CONTRACTORS NEGLIGENCE, SHALL BE REPLACED IMMEDIATELY.

ALL UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED PRIOR TO ANY PLANTING OR CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.

LANDSCAPE PLANTINGS AT ENTRANCES/EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH HIGHWAY SAFETY NEEDS OF DRIVERS IN THE PARKING AREA AND AT THE ENTRANCE/EXIT LOCATIONS.

NOTES:

- SHRUBS SHALL BE MAINTAINED AT 30-36" IN HEIGHT OR LOWER.
- ALL DECIDUOUS TREES SHALL BE LIMBED UP TO 3" MINIMUM ABOVE FINISH GRADE.
- ALL TREES ADJACENT TO CURBING OR SIDEWALKS TO BE PLANTED WITH BIO-BARRIER ROOT PROTECTION - SEE DETAIL THIS SHEET.
- ALL MULCH TO BE SHREDDED HARDWOOD MULCH.
- ALL LANDSCAPE AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL AS SPECIFIED IN THE GENERAL NOTES.
- NO PERMANENT IRRIGATION TO BE PROVIDED BASED ON LEED STANDARDS.
- THE REFORESTATION PLAN OR THE SPA IS SHOWN ON PAGE C4.02 OF THE POD CONSTRUCTION PLAN AND IS NOT A PART OF THIS APPROVAL.

CONCEPTUAL LANDSCAPE & LIGHTING PLAN

HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA



DATE: JUNE 19, 2014

SCALE: 1"=20'

DESIGN: ASM DRAWN: DMS

CHECK: CHECK:

JOB NO.:

P.R. NO.: PR53012

SHEET C6.01 OF 12

FILE NO.: C0.00 LAND.dwg

BURGESS & NIPLE

ENGINEERS - SURVEYORS - PLANNERS

5101 COX ROAD, SUITE 150, GLEN ALLEN, VA 22060

PHONE (800) 320-2667 FAX (800) 323-5151

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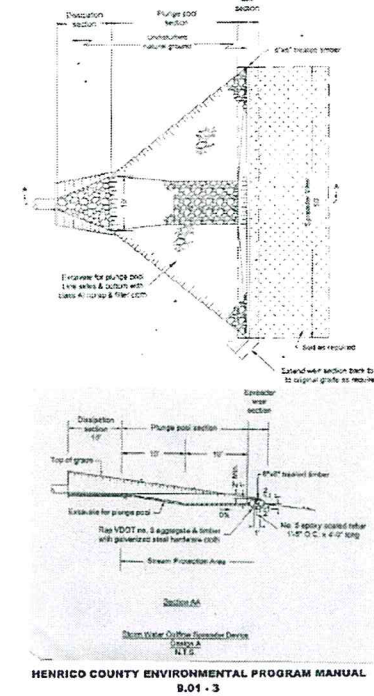
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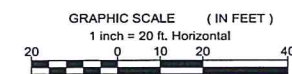
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E 11,782,820

MINIMUM DESIGN STANDARDS CHAPTER 9



HENRICO COUNTY ENVIRONMENTAL PROGRAM MANUAL
9.01 - 3

185	PROPOSED MAJOR CONTOUR
184	PROPOSED MINOR CONTOUR
183	EXISTING MAJOR CONTOUR
182	EXISTING MINOR CONTOUR



GRADING & DRAINAGE PLAN

HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA



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ESA Sheet - 13of9

MINIMUM STANDARDS
FOR EROSION AND SEDIMENT CONTROL

- MS-1** Any area that has reached final grade must receive temporary or permanent soil stabilization within seven days. Areas not at final grade that will remain dormant longer than 30 days must have temporary soil stabilization within seven days. Areas that will be dormant longer than one year must have permanent soil stabilization.
- MS-2** All soil stockpiles and borrow areas must be stabilized or protected with sediment trapping measures. Temporary protection and permanent stabilization shall be applied to all on-site soil stockpiles and borrow areas and soil intentionally transported from the project site.
- MS-3** Permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that is uniform, mature enough to survive, and will inhibit erosion.
- MS-4** Sediment basins and traps, and perimeter ESC measures intended to trap sediment must be constructed as a first step in any land-disturbing activity and shall be made functional before upslope land disturbance takes place.
- MS-5** Stabilization measures shall be applied to earthen structures such as dams, dikes, and diversions immediately upon installation.
- MS-6** Sediment basin and trap design information. **
- MS-7** Cut and fill slopes must be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.
- MS-8** Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume, or slope drain structure.
- MS-9** Whenever water seeps from a slope face, adequate drainage or other protection must be provided.
- MS-10** Inlet protection is required for all storm inlets that will be made operable during construction
- MS-11** Before newly constructed storm water conveyance systems are made operational, adequate outlet protection and any required channel lining must be installed in both the conveyance channel and receiving channel.
- MS-12** When work in a live watercourse is performed, precautions must be taken to minimize encroachment, control sediment transport, and stabilize the work area to the greatest extent during construction. Non-erodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used if armored by non-erodible cover materials.
- MS-13** When a live watercourse must be crossed by construction vehicles more than twice in any six-month period, a temporary vehicular stream crossing constructed of non-erodible material must be provided.
- MS-14** All applicable federal, state, and local regulations related to working in or crossing live watercourses must be met.
- MS-15** The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.
- MS-16** Underground utility lines shall be installed in accordance with the following standards in additions to other applicable criteria:
- a. No more than 500 linear feet of trench may be opened at one time.
 - b. Excavated material shall be placed on the uphill side of trenches.
 - c. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged so that it does not adversely affect flowing streams or off-site property.
 - d. Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
 - e. Re-stabilization shall be accomplished in accordance with these regulations.
 - f. Comply with all applicable safety regulations.
- MS-17** Construction entrances are required at all access points to the construction site. Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This applies to individual development lots as well as to larger land-disturbing activities.
- MS-18** All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, unless otherwise authorized by the local program authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures must be permanently stabilized to prevent further erosion and sedimentation.
- MS-19** Adequate outfall information **
- ** MS-6 and MS-19 deal with the design aspects of the plan. For further information, please consult the latest edition of the Virginia Erosion and Sediment Control Handbook. Also, refer to the sediment basin/trap design tables and the adequate outfall table located on the "Erosion and Sediment Control - Standard Details/Calcs." sheet.
- Any variance to the above listed minimum standards must be requested and approved in writing.

UTILITY NOTES

- All excavated material is to be placed on the uphill side of trench.
- All storm and sanitary sewer lines not in streets are to be mulched and seeded within 7 days after backfill. No more than 500 feet of trench is to be open at one time.
- Construction access roads shall be located on the uphill side of the trench or over the trench whenever possible.
- All construction discharge water shall be adequately filtered to remove silt prior to discharge into waterways and wetlands.
- Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
- All work must be in compliance with applicable safety regulations.
- All stream crossings and stream diversions require approval from the Environmental Engineer prior to any instream work (see STREAM CROSSINGS / DIVERSIONS / WORK IN STREAMS).

SILT FENCE NOTES

- Silt fence and filter fabric must be entrenched.
- Posts for silt fences shall be either 2-inch diameter oak, 4-inch diameter pine or 1.33 pounds per linear foot steel. Posts will be a minimum of 5 feet in length. Steel posts shall have projections for fastening wire to them.
- Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches.
- Post shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (min. of 12 inches) when extra strength fabric is used. Without the wire support fence, post spacing shall not exceed 6 feet.
- When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the post.
- Sediment must be removed when deposits reach approximately one - half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared, and seeded.
- Under no circumstances should silt fence be installed in live streams.
- Silt fence shall be removed upon completion of the project.

STREAM CROSSINGS/DIVERSIONS/WORK IN STREAMS

- When a live watercourse must be crossed by construction vehicles or temporarily diverted, a plan/sketch showing appropriate details of the crossing/diversion must be submitted for approval to Henrico County's Environmental Engineer prior to any work involving the stream. The plan shall include but is not limited to: all pipes, mats, channel details, erosion control devices, sequence for construction, etc. Guidelines for pipe diameters can be found in table 3.24-A of the Virginia Erosion and Sediment Control Handbook. Channel liners will be in accordance with Section 3.25 of the Handbook.
- No motorized equipment will at any time be within a waterway unless supported by floatation equipment or a temporary construction pad composed of clean non-erodible material (rocks, rip-rap, mats).
- Clearing and grubbing of wetland areas will be kept to a minimum. All wetlands temporarily disturbed during construction will be restored to their original elevation, by removing excess material, grading and seeding with a wetland seed mix. In no case shall wetland areas be reseeded with any species of fescue.
- The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse has been completed.

BMP INSPECTIONS / CERTIFICATIONS

- Inspections of proposed BMPs must be conducted at two phases of construction - "rough grading" and "final conformance". County staff, the Developer or his/her representative, and the Developer's engineer should be present at the inspections.
- The Developer or his/her representative is responsible for notifying the Environmental Inspector at the appropriate times during construction when the inspections should occur. Failure to request the inspections may result in delay of final acceptance of the BMP. Three inches of topsoil is required for areas of the BMP that will be stabilized with vegetation.
- The Developer's Engineer/Surveyor will provide a letter of conformance once the final conformance inspection has been performed and all issues resolved.
- Prior to release of the Erosion and Sediment Control bond, the Developer's Engineer/Surveyor will provide a BMP Certification using standard County forms.

RESPONSIBLE LAND DISTURBER (RLD) POLICY

- As a prerequisite to engaging in the land-disturbing activities shown on this plan, the individual responsible for carrying out the plan and holding a certificate of competence shall be identified (the RLD).
- The RLD will:
- 1. Attend the Pre-Construction meeting and sign the approved plans,
 - 2. Inspect the ESC measures periodically at least once every two weeks, or within 48 hours of any runoff producing storm event,
 - 3. For projects with site area of 1 acre or greater, submit inspection reports using a standard form supplied by the County to the Environmental Inspector listing all deficiencies or stating no deficiencies were found, and
 - 4. Coordinate the implementation and maintenance of all erosion and sediment control measures in accordance with the approved plan.

MOSQUITO CONTROL NOTES

- All construction sites and erosion and sediment control measures must be inspected and maintained to eliminate or minimize areas that promote mosquito breeding. Remove or empty all containers and trapped water in tarps. Fill and grade tire ruts or other imperfections in grade. Any standing water that remains for FIVE (5) days or more must be treated with an appropriate larvicide, including water in sediment basins and traps.
- When a mosquito breeding area is found, removal or treatment of the area is required immediately. Inspection and treatment questions may be directed to Henrico County at (804) 501-7333. Other pesticide application questions should be directed to the Virginia Department of Agricultural & Consumer Services (VDACS) at (804) 371-6560.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- Henrico County's Environmental Inspector (804-727-8328) must be contacted at least 48 hours prior to any land disturbing activity.
- All activities on the site must comply with Chapter 10 of the Henrico County Code.
- All erosion and sediment control (ESC) measures must be placed prior to, or as the first step in grading. The preliminary limits of disturbance must be the minimum necessary to allow installation of the ESC measures and should include all areas necessary for installing the initial ESC measures, including stockpiles, borrow areas, staging areas, etc. Disturbance outside of the preliminary limits of land disturbance may not occur until the Environmental Inspector has approved the ESC measure installation.
- If additional ESC devices are found necessary during construction, they must be installed as directed by the Environmental Inspector for Henrico County.
- Unless otherwise approved by the Environmental Engineer, all runoff must drain to a sediment basin or trap during all phases of construction.
- All ESC devices must be installed and maintained in accordance with the latest version of the Virginia Erosion and Sediment Control Handbook and the Virginia Erosion and Sediment Control Regulations.
- A construction entrance must be constructed and properly maintained in accordance with Std. & Spec. 3.05 - Construction Entrance, in the latest version of the Virginia Erosion and Sediment Control Handbook. If mud tracking becomes a problem, the Environmental Inspector will require additional measures (i.e. wash rack).
- If dust becomes a problem during construction, a water truck will be required on-site at all times, and dust must be controlled in accordance with Std. & Spec. 3.39 - Dust Control, in the latest version of the Virginia Erosion and Sediment Control Handbook.
- Dewatering of footings, excavated trenches, sediment basins/traps, etc. must be done in accordance with Std. & Spec. 3.26 - Dewatering Structure, in the latest version of the Virginia Erosion and Sediment Control Handbook. The Environmental Inspector must approve the method prior to beginning dewatering.
- All temporary stockpile locations must be shown on the plan. Stockpiles may remain in place one year from the final plan approval date, unless the Director of Public Works grants an extension in response to a written request.
- Any soil or fill material intentionally transported from the project site must be taken to an approved location, such as an active landfill or other active site that is operating under an approved Erosion and Sediment Control Plan.
- In subdivision developments, temporary sediment basins/traps must remain in place until at least 80% of homes that drain to the basins/traps are complete and the associated disturbed areas are stabilized. Sediment basins/traps cannot be removed without approval of the Environmental Inspector. Once the temporary sediment basin/traps have been removed, the developer, contractor, and/or homebuilder are responsible for erosion and sediment control on individual lots until stabilization is achieved.
- In the event a contractor dumps, discharges or spills any oil or chemical that reaches or has the potential to reach a waterway, the contractor shall immediately notify all appropriate jurisdictional State, Federal, and County (501-5000) agencies and shall take immediate actions for containment and removal of the oil or chemical.

SEEDING NOTES

- All stabilization/seeding will be accomplished in accordance with the Virginia Erosion and Sedimentation Control Handbook.
- Any disturbed area not paved, sodded, or built upon, will have a vegetative cover prior to final inspection, and in the opinion of the Environmental Engineer will be mature enough to control soil erosion satisfactorily and survive severe weather conditions.
- Stream diversion areas, waterways, banks, and related areas will be seeded and mulched immediately after work in watercourse is completed. In no case shall wetland areas be reseeded with any species of fescue.
- Winterization - any disturbed area not paved, sodded, or built upon by October 15 is to be seeded and mulched on that date unless waived by the Environmental Engineer.
- Permanent or temporary soil stabilization shall be applied to denuded areas with in seven (7) days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven (7) days to denuded areas that may not be at final grade, but will remain dormant for longer than thirty (30) days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- Electric power, telephone, and gas supply trenches must be compacted, seeded, and mulched within 7 days after backfill.
- All temporary earth berms, diversions, and silt dams are to be mulched and seeded for vegetative cover immediately after grading. Straw or hay mulch is required. The same applies to all stockpiles, on site as well as soil (intentionally) transported from the project site.

RESOURCE PROTECTION AREAS, STREAM PROTECTION AREAS, WETLANDS, AND WATERS OF THE U.S.

- Prior to beginning any land disturbing activity, all Resource Protection Areas (RPAs), Stream Protection Areas (SPAs), wetlands, and Waters of the U.S. (WOUS) not permitted for impact shall be delineated for protection with orange safety fence or non-tearable yellow and black barricade tape. This includes, but is not limited to, clearing limits associated with roadways, utilities, and buildings.
- Additional restoration or replanting may be required for RPAs, SPAs, wetlands, and WOUS disturbed during construction.



COUNTY OF HENRICO
DEPARTMENT OF PUBLIC WORKS

ENVIRONMENTAL SITE ASSESSMENT INFORMATION

Plans must accurately show all RPA, SPA, and RMA features.

RESOURCE PROTECTION AREAS (RPA):

- | | | |
|---|-----|----|
| 1. Is there a tributary stream located on the parcel? | YES | NO |
| 2. Are there any tidal wetlands present on the parcel? | YES | NO |
| 3. Are there any non-tidal wetlands connected by surface flow and contiguous to tidal wetlands or tributary streams? | YES | NO |
| 4. Are there any tidal shores on the parcel? | YES | NO |
| 5. Does the site lie within 100 feet of any of the above site characteristics designated as Resource Protection Areas (RPAs)? | YES | NO |

If the answer to any of the above questions is "YES", the parcel contains a Resource Protection Area (RPA).

RESOURCE MANAGEMENT AREAS (RMA):

- | | | |
|--|-----|----|
| 6. Are there any special flood hazard areas (100-year floodplain) located on the parcel? | YES | NO |
| 7. Are highly erodible soils, including steep slopes, present on the parcel and contiguous to any of the above RPA features? | YES | NO |
| 8. Does the parcel contain any highly permeable soils contiguous to an RPA? | YES | NO |
| 9. Does any portion of the parcel lie within 100 feet of a Resource Protection Area? | YES | NO |
| 10. Does the entire site (outside of the RPA) lie within a Resource Management Area? | YES | NO |

STREAM PROTECTION AREAS (SPA):

- | | | |
|--|-----|----|
| 11. Is there any non-perennial stream with greater than 100 acres of contributing drainage area located on the parcel? | YES | NO |
| 12. Does any of the site lie within 50 feet of the stream bank of a SPA stream? | YES | NO |

OTHER ENVIRONMENTAL SITE INFORMATION:

- | | | |
|--|-----|----|
| 13. Are there any wetlands/waters of the United States located on the parcel? | YES | NO |
| 14. Is development or land disturbance proposed in any wetlands/waters of the United States? | YES | NO |

Parcels containing RPAs/RMAs/SPAs must satisfy all requirements of the Henrico County Code applicable to development within Chesapeake Bay Preservation Areas. Land disturbance in wetlands and/or waters of the United States requires either a evidence of U.S. Army Corps of Engineers/Virginia Department of Environmental Quality (DEQ) permits or a certification from a principal in the engineering firm that the proposed wetland impacts are authorized by law.

I hereby certify that the above information is based on a field visit at (project name)

performed on _____
and that I have reviewed all maps and other documentation deemed necessary to certify the accuracy of this information.

Signature
Name (please print)
Date
My Virginia License or Certificate Number is _____

ACKNOWLEDGEMENTS

- I hereby acknowledge that prior to any land disturbing activity, all buffer areas and wetlands as defined in the Henrico County code shall be conspicuously flagged or otherwise identified and not disturbed unless authorized by law, and that the applicant shall notify the Engineering and Environmental Services Division (EESD) upon completion of flagging. (Contact the EESD at 727-8328 to arrange a pre-construction meeting to verify the limits of flagging.)
- I hereby certify that no more land is being disturbed than is necessary to provide for the desired development use.
- I hereby certify that all erosion and sediment control measures shall be maintained, and the owner and/or agent will inspect the erosion and sediment control measures at least once every two week period, and within 48 hours following rainstorm events during construction to ensure compliance with the approved plan. Records of self-inspection shall be maintained on the site and available for review by County Inspectors.
- I hereby acknowledge that the U.S. Army Corps of Engineers and/or Virginia Department of Environmental Quality may have additional jurisdiction over wetlands not regulated by Henrico County.
- I hereby acknowledge that a Virginia Pollutant Discharge Elimination System (VPDES) permit application [including a Virginia Stormwater Management Program (VSMP) permit application], if required, has been made for land disturbing activities of 2,500 square feet or greater.

Signature (Owner/Developer): _____

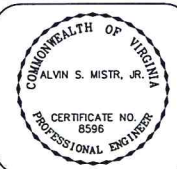
Name (please print): _____

Date: _____

BURGESS & NIPLE
ENGINEERS ■ SURVEYORS ■ PLANNERS
5101 COX ROAD, SUITE 150, CLYDE HILL, VA 23060
PHONE (804) 325-8887 FAX (804) 323-9151

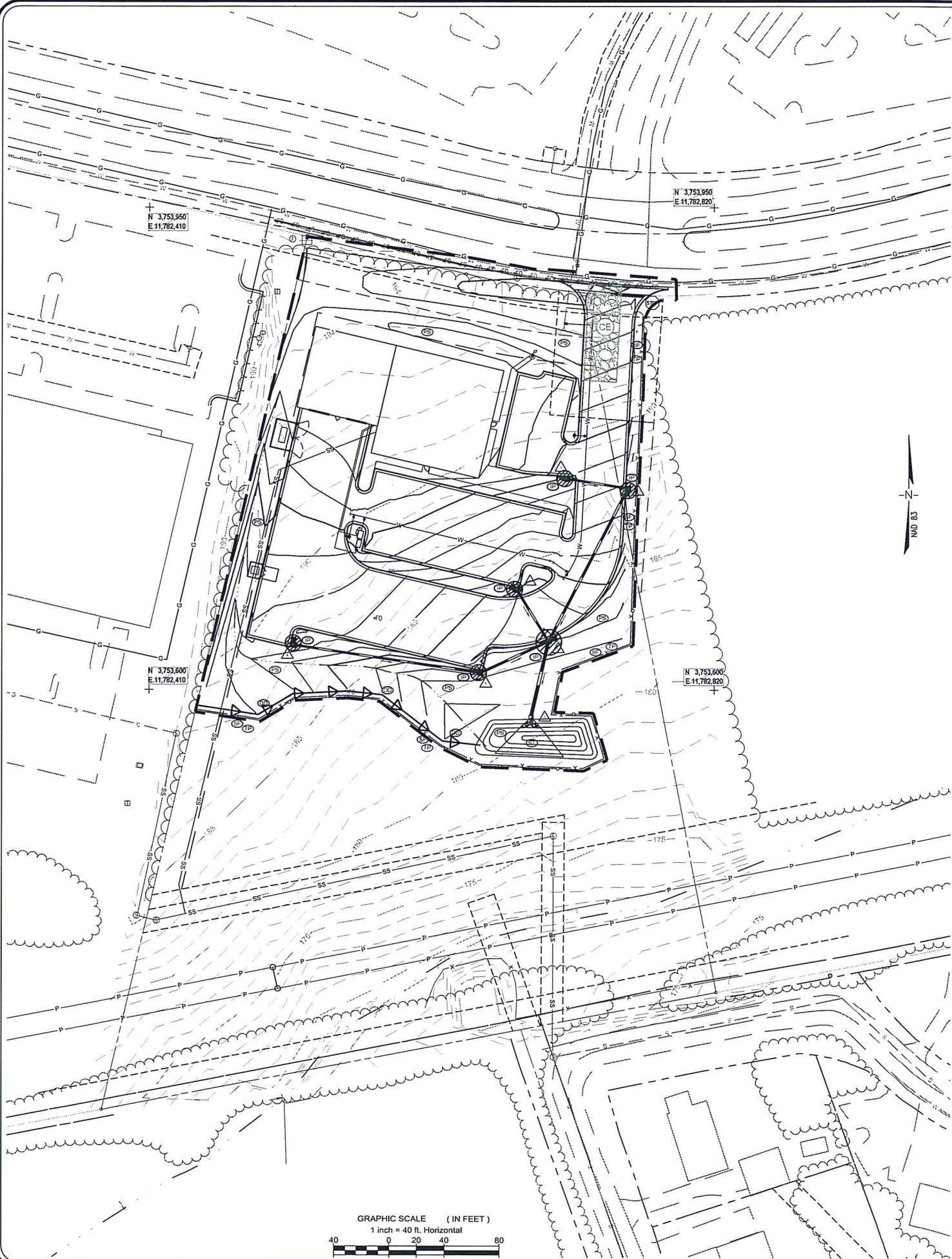
EROSION & SEDIMENT CONTROL
STANDARD NOTES

HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA



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SHEET C5.03 OF 12	
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EROSION AND SEDIMENT CONTROL - PHASE 2

- NOTES :
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL EROSION CONTROL MEASURES ESPECIALLY DURING AND AFTER RAINFALL EVENTS. OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEEMED NECESSARY BY THE EROSION CONTROL INSPECTOR.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE LATEST EDITION OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL MANUAL."
 - NO EROSION AND SEDIMENT CONTROL MEASURES MAY BE REMOVED WITHOUT THE APPROVAL OF THE ENVIRONMENTAL INSPECTOR.
 - NO STOCKPILE WILL BE UTILIZED ON THIS SITE.
1. LAND DISTURBANCE OUTSIDE THE PRELIMINARY LIMITS OF DISTURBANCE MAY NOT OCCUR UNTIL THE INSTALLATION OF THE INITIAL ESC MEASURES HAS BEEN APPROVED BY THE ENVIRONMENTAL INSPECTOR.
 2. ALL PERIMETER CONTROL MEASURES DURING PHASE I MUST BE MAINTAINED THROUGH THE DURATION OF THE CONSTRUCTION PROJECT. NO CONTROL MEASURES CAN BE REMOVED WITHOUT APPROVAL FROM THE ENVIRONMENTAL INSPECTOR.
 3. ANY DISTURBED AREA THAT WILL REMAIN DORMANT FOR MORE THAN 30 DAYS SHALL HAVE TEMPORARY SEEDING APPLIED.
 4. BEGIN ROUGH GRADING THE ROADWAY AND INSTALLATION OF THE SANITARY SEWER. BEGIN INSTALLATION OF WATERLINE AND STORM SEWER. RUNOFF WILL INITIALLY TRAVEL TO SEDIMENT TRAPS THROUGH DIVERSION DIKE, UNTIL PROPOSED SWALE ALONG SOUTHERN CURB AND STORM SEWER INSTALLATION IS COMPLETED. INLET PROTECTION IS TO BE INSTALLED AFTER EACH INLET GETS CONSTRUCTED.
 5. CONTRACTOR TO MAKE SURE THAT DIVERSION DIKE ALONG SOUTHERN CURB LINE REMAINS IN PLACE AT ALL TIMES UNTIL SWALE GRADING TAKES PLACE. AS SWALE IS INSTALLED, THAT PORTION OF THE DIVERSION DIKE CAN BE REMOVED. CONTRACTOR TO ENSURE THAT EITHER THE SWALE OR THE DIVERSION DIKE AT EACH LOCATION IS IN PLACE AT THE END OF EACH DAY.
 6. ONCE STORM SEWER IS COMPLETELY INSTALLED ANY REMAINING DIVERSION DIKES THAT HAVE NOT BEEN REMOVED CAN BE REMOVED AFTER APPROVAL FROM THE ENVIRONMENTAL INSPECTOR. RUNOFF WILL NOW TRAVEL THROUGH SWALES AND STORM SEWER TO SEDIMENT TRAPS.
 7. REMOVE TEMPORARY SEDIMENT TRAPS AND INSTALL LEVEL SPREADER.
 8. EXISTING PERIMETER CONTROLS SHOULD BE ADJUSTED ACCORDINGLY TO TREAT PROPOSED GRADING AS SITE WORK PROGRESSES.
 9. COMPLETE CURB BACKFILL AND FINE GRADING.
 10. PAVE DRIVE AND PARKING WITH BASE LAYER OF ASPHALT.
 11. COMPLETE MULCHING AND SEEDING ONCE TOPSOIL IS SPREAD. ALL NON-PAVED AREAS SHALL RECEIVE PERMANENT SEEDING IN ACCORDANCE WITH THE SEEDING SCHEDULE.
 12. ONCE ALL OF THE DISTURBED AREAS HAVE BEEN STABILIZED CONTACT DEPARTMENT OF PUBLIC WORKS ENVIRONMENTAL DIVISION (804) 727-8328 FOR FINAL INSPECTION.
 13. UPON APPROVAL OF SITE STABILIZATION, REMOVE ALL PERIMETER EROSION CONTROL MEASURES.

EROSION CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL
3.02	CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.07	STORM DRAIN INLET PROTECTION	IP	
3.09	TEMPORARY DIVERSION DIKE	DD	
3.13	TEMPORARY SEDIMENT TRAP	ST	
3.32	PERMANENT SEEDING	PS	
3.38	TREE PRESERVATION AND PROTECTION	TP	

NO. REFERS TO CHAPTER 3 OF THE CURRENT VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK.

NOTES:

1. ALL EXISTING UTILITIES SHALL BE PROTECTED DURING PROPOSED CLEARING, DEMOLITION AND CONSTRUCTION. ADEQUATE COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER MAINS AND WATER MAINS IN ACCORDANCE WITH DPU STANDARDS.

EROSION CONTROL PLAN - PHASE 2

HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA



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P.R. NO.: PR53012
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FILE NO.: C0.00 EROS.dwg



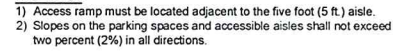
BURGESS & NIPL
ENGINEERS ■ SURVEYORS ■ PLANNERS
5101 COX ROAD, SUITE 150, GLEN ALLEN, VA 23060
PHONE (804) 320-2667 FAX (804) 323-5131

REVISIONS

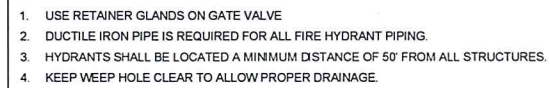
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D-200

A RISER MAY BE REQUIRED TO BRING A FIRE HYDRANT TO FINAL GRADE, ESPECIALLY BEHIND A STORM SEWER OR DITCH SECTION. THE COST OF ALL RISERS SHALL BE INCLUDED IN THE CONTRACTOR'S BID. NO EXTRA WILL BE ALLOWED TO THE CONTRACTOR FOR SUCH ADJUSTMENTS.

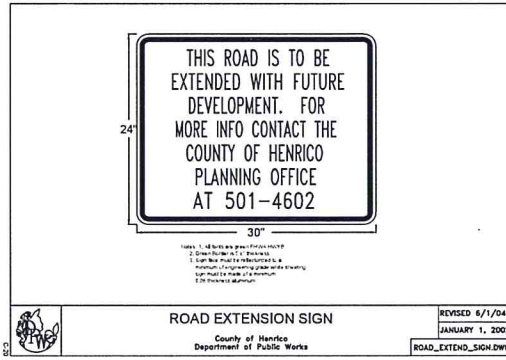
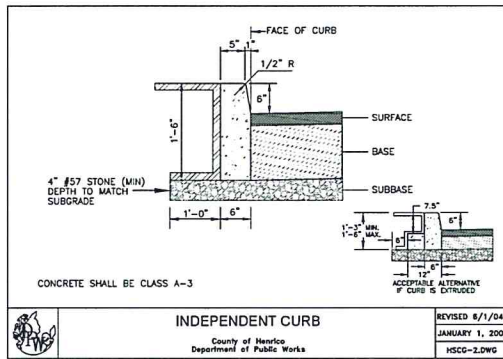
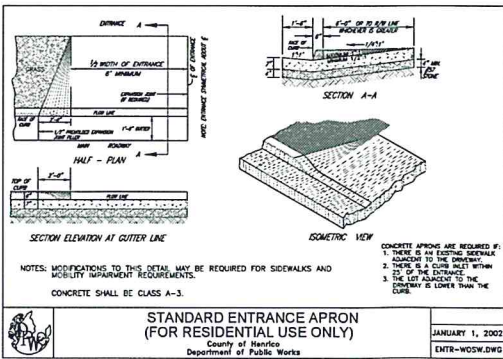
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1. The pavement section is subject to change based on soil conditions at the time of construction, as determined by the Construction Engineer for Henrico County.
2. Any necessary pavement widening between the existing pavement and the proposed improvements is the responsibility of the developer.
3. All medians for turn lanes must be VDOT Std. MS-1. For turn lanes being constructed on existing roads, the old median must be removed and the solid raised median poured on the asphalt base course in accordance with the standards for MS-1 Median. Standard MS-1A or variations of the same will not be permitted.
4. Pavement sections for through lanes and turn lanes must be the same as the existing pavement section. These turn lanes must have underdrains.
5. No pavement open cuts are allowed on existing County maintained roads unless specifically approved by the Construction Engineer for Henrico County.
6. If utility connections are located outside of the pavement and right-of-way, no pavement disturbance is required and all utility crossings must be bored.
7. Soil tests and CBR information, with an appropriate pavement design, must be performed and made available to the Construction Engineer prior to subgrade approval

1. All storm sewers within the County right-of-way and easements must be ASTM C-76, Class III or better, reinforced concrete pipe with sealed joints in accordance with VDOT specifications.
2. Precast drop inlets are not permitted at locations where the grade of the adjacent curb and gutter is less than 1.5%. Precast drop inlets with flat inverts are not permitted in sag locations when the total length of the required throat opening exceeds six (6) feet.
3. All storm sewer within a County easement or right-of-way must have a minimum of four (4) inches of aggregate bedding material and must be backfilled in accordance with the detail on this sheet.
4. All drop inlets must have Type B noses.
5. Drop inlets on grade must be poured with the throat on the same grade as the adjoining curb and gutter.
6. #4 x 8" dowels must be placed at approximately 12" c-c in all areas adjacent to abutting concrete to prevent settlement.
7. When using non-concrete pipe for private areas, the connection to the structure in the County easement or right-of-way must be concrete. Non-concrete pipe must terminate in a concrete structure and continue concrete to the point where it ties into the County easement or right-of-way. All manholes and inlets must be concrete.
8. UD-4 underdrains are required along the entire length of all proposed roads and/or road widening within the public right-of-way unless waived by the Director of Public Works.
9. Irrigation is not permitted in the shoulder area within the County right-of-way unless specifically approved by the County Engineer.
10. CD-1 underdrains are required on all vertical sags.
11. UD-2 underdrains are required in all raised grass medians and islands within the public right-of-way.
12. The outlet end of all underdrains must terminate in drainage structures or daylight out of fill slopes with a standard EW-12 endwall placed at the outlet end of the underdrain.

1. The subgrade area shall be scarified to a depth of eight inches for a minimum of two feet beyond the proposed edges of the pavement on both sides (or from the curb and gutter) and compacted to a density of not less than 95 percent.
2. When materials which are unsuitable for foundation, subgrade, or other roadway purposes occur within the roadway limits, such materials must be excavated below the grade shown on the plans as directed by the geotechnical engineer or as approved by the Henrico County Construction Engineer and the areas must be backfilled with suitable material.
3. All solid rock or boulders found in the roadway shall be excavated to the full roadway width to a depth of one foot below subgrade and then backfilled to the proper grade with suitable materials.
4. A six (6) feet wide pedestrian shelf is required behind all curb and gutter in the County right-of-way. The shelf must be cleared/constructed at the time of road construction, including the relocation of all power poles and other above ground obstacles.
5. All graded Islands must be graded to 1/4" rise to minimize sight distance problems.
6. All areas to be filled within the buildable area (ponds, sediment basins, etc.) must be filled with suitable material and compacted with structural fill and compacted to 95% compaction.
7. All grading shown on lots must be done prior to building permit issuance.
8. The design and construction of basins must in compliance with the general requirements for dams in the Virginia Stormwater Management Program Manual. A geotechnical engineer must certify that the construction compaction requirements have been achieved. BMPs for subdivisions will not be accepted for County maintenance until the geotechnical certification is provided and accepted by the Department of Public Works.

1. All roadways must be cleared in the area of proposed construction prior to requesting staking from the County.
2. All utility poles, fire hydrants, and other above ground obstacles located within the public right-of-way and in conflict with the proposed sidewalk shelf, curb and gutter, and/or the pavement widening shall be relocated at the developer's expense prior to Henrico County staking the curb and gutter.
3. All curb and gutter and storm sewer/inlets located within the existing County right-of-way shall be staked by the County upon written request being made to the County Engineer or by calling 501-4619.
4. Prior to requesting County stakeout, all appropriate information necessary for stakeout must be provided to the Henrico County Survey Department.
5. Right-of-way and baseline information must be established in the field and clearly tied to monuments/benchmarks prior to requesting stakeout by the County.



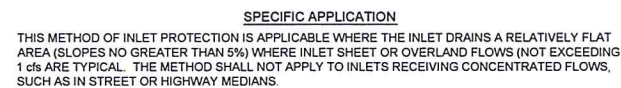
HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA

STANDARD CONSTRUCTION NOTES AND DETAILS

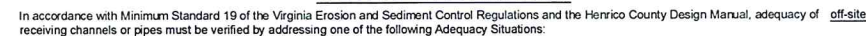


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STD. & SPEC. 3.02 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



STD. & SPEC. 3.13 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



- A. The drainage area from the project at the discharge point is less than or equal to one percent of the total drainage area at the discharge point and the 10-year storm is contained within the channel banks (Project Drainage Area and Total Drainage area are required),
- OR
- B. Natural channels must be analyzed to demonstrate that (1) the 10-year storm will not overtop the channel banks and (2) the 2-year storm will not cause erosion of the channel bed and banks ($Q_{C25\text{-}2\text{yr}}$, Q_{10} , $V_{\text{Allowable}}$, and V_2 are required), except $Q_{C25\text{-}2\text{yr}}$ and Q_{10} are not applicable if the channel is in the 100-year floodplain, RPA SPA.
- OR
- C. Man-made channels must be analyzed to demonstrate that (1) the 10-year storm will not overtop the channel banks and (2) the 2-year storm will not cause erosion of the channel bed or banks ($Q_{C25\text{-}2\text{yr}}$, Q_{10} , $V_{\text{Allowable}}$, and V_2 are required),
- OR
- D. Pipes and storm sewer systems must be analyzed to demonstrate that the 10-year storm will be contained within the system ($Q_{C25\text{-}2\text{yr}}$, Q_{10} , and Hydraulic Grade Line calculations are required),
- OR
- E. Runoff is discharged through an energy dissipator at the limits of the 100-year floodplain, RPA buffer, or SPA buffer.

[illegible]

Discharge Point = Unique identifier for the discharge point

Project Drainage Area = the drainage area of the project that drains to the discharge point in acres

Q_{Capacity} = the carrying capacity of the channel or pipe in CFS

$V_{\text{Allowable}}$ = the maximum velocity (in FPS) that the channel lining can withstand without eroding

Generally, nested channel cross sections must be

Adequacy Situation - either A, B, C, D, or E as described above

Total Drainage Area - the total drainage area to the discharge point in acres

Q_{10} = the peak discharge at the discharge point for the 10-year storms in CFS

V_2 = the velocity at the discharge point for the 2-year storm in FPS

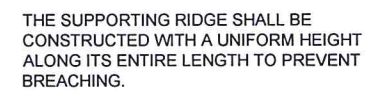
Generally, scaled channel cross-sections must be provided every fifty (50) feet and at the most constricted locations of all outfall channels for a minimum of 150 feet of profile.

[illegible]

DEPARTMENT OF PUBLIC WORKS

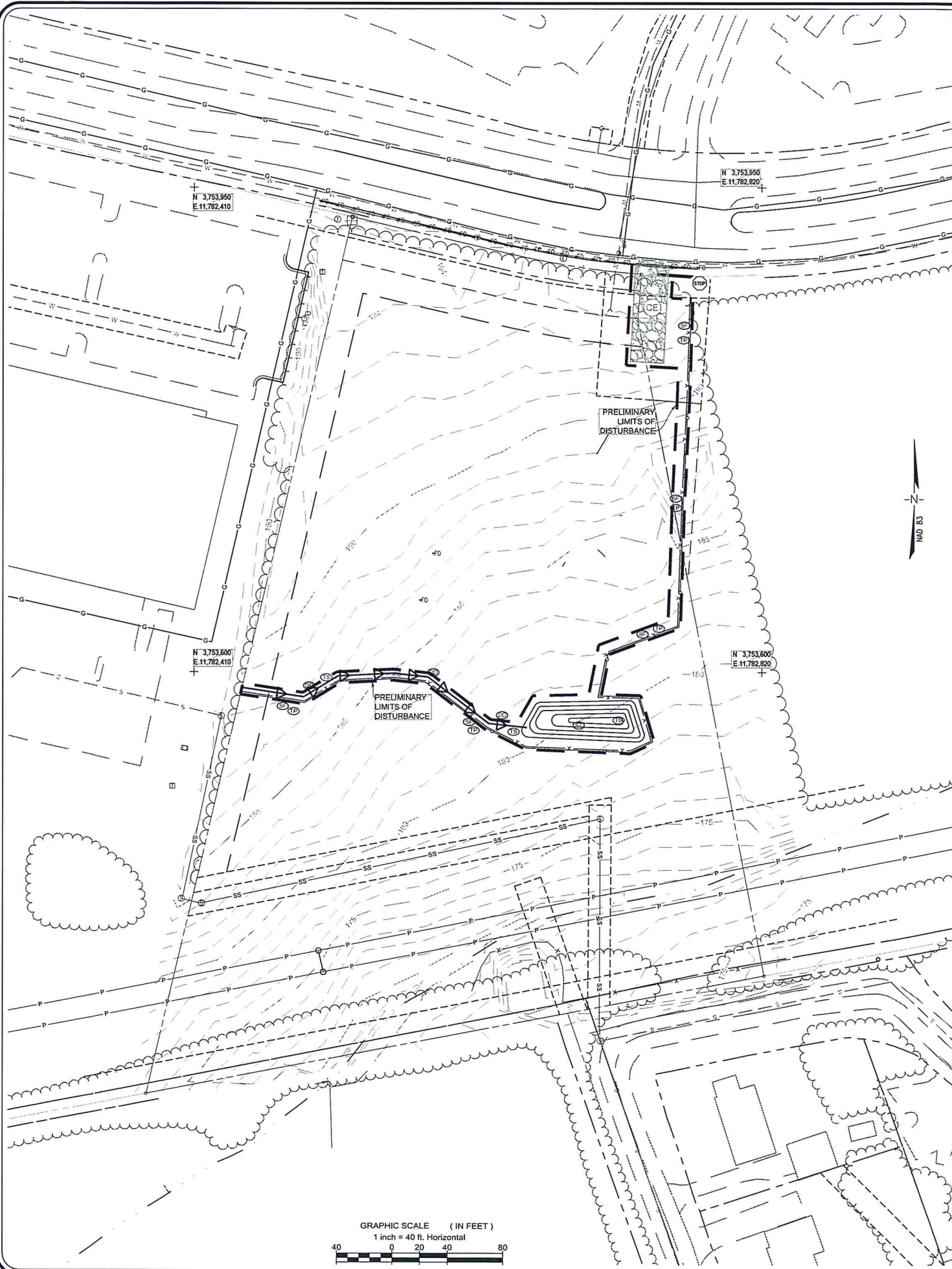


STD. & SPEC. 3.10 - VA. EROSION AND SEDIMENT CONTROL HANDBOOK (1992)



DATE: JUNE 19, 2014	
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JOB NO.:	
P.R. NO.: PR53012	
SHEET C5.02 OF 12	
FILE NO.: C0.00 EROS.dwg	

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7/1/2014 2:24:37 PM Hammond, Brett



EROSION AND SEDIMENT CONTROL - PHASE 1

NOTES :

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL EROSION CONTROL MEASURES, ESPECIALLY DURING AND AFTER RAINFALL EVENTS. OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEEMED NECESSARY BY THE EROSION CONTROL INSPECTOR.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE LATEST EDITION OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL MANUAL."
 - NO EROSION AND SEDIMENT CONTROL MEASURES MAY BE REMOVED WITHOUT THE APPROVAL OF THE ENVIRONMENTAL INSPECTOR.
 - NO STOCKPILES WILL BE UTILIZED ON THIS SITE.
- INSTALL YELLOW AND BLACK BARRICADE TAPE AT LIMITS OF RPA TO REMAIN. ALSO INSTALL ORANGE SAFETY FENCE AS SHOWN ON PLAN TO REMAIN AND FLAG LIMITS OF CLEARING AND GRADING PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING.
1. THE CONTRACTOR SHALL CONTACT THE ENVIRONMENTAL DIVISION OF THE DEPARTMENT OF PUBLIC WORKS AT (804) 727-8328 TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO SITE CONSTRUCTION START-UP. THE RESPONSIBLE LAND DISTURBER WILL ATTEND THE PRE-CONSTRUCTION MEETING AND SIGN THE APPROVED PLANS.
 2. INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT AND DEBRIS FROM CONSTRUCTION VEHICLES PRIOR TO LEAVING THE CONSTRUCTION SITE.
 3. INSTALL TREE PROTECTION, & SILT FENCE AS SHOWN.
 4. CLEAR ONLY TO THE PRELIMINARY LIMITS OF DISTURBANCE.
 5. INSTALL SEDIMENT TRAP ALONG WITH DIVERSION DIKES AS SHOWN ON THE PLANS. CONTRACTOR TO SEED AND MULCH IMMEDIATELY UPON CONSTRUCTION. RUNOFF WILL FLOW TO SEDIMENT TRAPS THROUGH DIVERSION DIKES UNTIL STORM SEWER IS BROUGHT ON-LINE WITH PHASE II - E&S PLAN.
 6. ANY DISTURBED AREA THAT IS DORMANT FOR MORE THAN 30 DAYS MUST HAVE TEMPORARY SEEDING APPLIED.
 7. NO LAND DISTURBANCE MAY OCCUR UNTIL THE INSTALLATION OF THE INITIAL EROSION AND SEDIMENT CONTROL MEASURE HAVE BEEN APPROVED BY THE ENVIRONMENTAL INSPECTOR.
 8. ONCE ALL OF THE PERIMETER CONTROLS ARE IN PLACE AND APPROVED, BEGIN CLEARING AND GRUBBING THE AREAS WITHIN THE LIMITS OF CLEARING AND GRADING. CARE SHOULD BE TAKEN DURING CONSTRUCTION TO PREVENT ANY OFF-SITE SEDIMENT RUNOFF. ALL TOPSOIL SHOULD BE STRIPPED FROM THE CONSTRUCTION AREA AND REMOVED FROM SITE.
 9. THE CONTRACTOR SHALL ENSURE THAT RUNOFF FROM DISTURBED AREA WILL DRAIN TO EROSION CONTROL MEASURES. ADDITIONAL CONTROLS MAY BE NECESSARY.

EROSION CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL
3.02	CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.09	TEMPORARY DIVERSION DIKE	DD	
3.13	TEMPORARY SEDIMENT TRAP	ST	
3.31	TEMPORARY SEEDING	TS	
3.38	TREE PRESERVATION AND PROTECTION	TP	

NO. REFERS TO CHAPTER 3 OF THE CURRENT VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK.

NOTES:

1. ALL EXISTING UTILITIES SHALL BE PROTECTED DURING PROPOSED CLEARING, DEMOLITION AND CONSTRUCTION. ADEQUATE COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER MAINS AND WATER MAINS IN ACCORDANCE WITH DPU STANDARDS.

BURGESS & NIPLE
ENGINEERS • SURVEYORS • PLANNERS
5101 COX ROAD, SUITE 150, GLEN ALLEN, VA 23060
PHONE (804) 320-2667 FAX (804) 323-5131

REVISIONS	DATE

EROSION CONTROL PLAN - PHASE 1

HCPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA

DATE: JUNE 19, 2014
SCALE: 1"=40'
DESIGN: ASM DRAWN: DMS
CHECK: CHECK:
JOB NO.:
P.R. NO.: PR53012
SHEET C4.01 OF 12
FILE NO.: C0.00 EROS.dwg



October 14, 1986

Re: Conditional Rezoning Case C-87C-86

Sovran Financial Corporation
1111 East Main Street
Sovran Center
24th Floor
Richmond, Virginia 23219

Attention: Mr. Cecil R. Maxson, Jr.

Gentlemen

The Board of Supervisors at its meeting on October 8, granted your request to conditionally rezone property from C-1 Conservation and R-5 General Residence to O/SC Office-Service (Conditional), O-2C Office (Conditional) and B-3C General Business District (Conditional), described as follows:

Part of Parcel 104-B1-12:

Parcel 1 (O/S Office Service)

To find the point and place of beginning, begin at the intersection of the southern line of Parham Road and the eastern line of U.S. State Route 1; thence along the southern line of Parham Road the following courses and distances: (1) S. $87^{\circ} 41' 03''$ W., 392.00' to a point; (2) thence along a curve to the right with a radius of 1482.40', an arc distance of 608.02' to a point; (3) thence S. $4^{\circ} 49' 56''$ E., 16.67' to a point; and (4) thence along a curve to the right with a radius of 1497.40', an arc distance of 92.61' to a point; thence leaving the southern line of Parham Road S. $69^{\circ} 05' 26''$ W., 18.49' to a point, which is the point and place of beginning; thence N. $89^{\circ} 19' 07''$ E., 229.94' to a point; thence N. $89^{\circ} 19' 07''$ E., 229.94' to a point; thence N. $89^{\circ} 19' 07''$ E., 229.94' to a point; thence N. $63^{\circ} 39' 11''$ E., 72.00' to a point; thence N. $69^{\circ} 05' 26''$ E., 3503.93' to the point of beginning, containing 165.83 acres.

Parcel II (O-2 Office) (includes Parcels IIA and IIB on Zoning Map)

Beginning at the intersection of the southern line of Parham Road and the eastern line of U.S. State Route 1; thence along the eastern line of U.S. State Route 1 the following courses and distances: (1) S. 30° 23' 01" E., 68.22' to a point; (2) thence S. 23° 06' E., 190.00' to a point; (3) thence S. 86° 36' 54" W., 14.00' to a point; (4) thence S. 3° 23' 06" E., 37.00' to a point; (5) thence S. 63° 38' 24" E., 121.17' to a point; (6) thence S. 28° 18' 57" W., 113.90' to a point; (7) thence S. 87° 41' 03" W., 786.37' to a point, leaving the eastern line of U.S. State Route 1. S. 87° 41' 03" W., 250.00' to a point; thence N. 28° 18' 57" W., 150.00' to a point; thence S. 87° 41' 03" W., 98.28' to a point; thence N. 28° 18' 57" W., 113.90' to a point; thence S. 87° 41' 03" W., 786.37' to a point; thence N. 40° 45' 56" W., 379.58' to a point; thence N. 69° 05' 26" E., 18.49' to a point on the southern line of Parham Road; thence along the southern line of Parham Road the following courses and distances: (1) along a curve to the left with a radius of 1497.40', an arc distance of 92.61' to a point; (2) thence N. 40° 49' 56" W., 16.67' to a point; (3) thence along a curve to the left with a radius of 1482.40', an arc distance of 50.81' to a point; (4) thence N. 87° 41' 03" E., 392.10' to the point of beginning, containing 723 acres.

Parcel III (B-3 General Business)

Beginning at the intersection of the eastern line of U.S. State Route 1 and the northern line of Wilkinson Road (Proposed); thence along the eastern line of U.S. State Route 1 S. 20° 00' 37" E., 219.13' to a point; thence leaving the eastern line of U.S. State Route 1 S. 82° 05' 32" W., 25.11' to a point; thence N. 20° 00' 37" W., 221.42' to a point on the northern line of Wilkinson Road (Proposed); thence along the northern line of Wilkinson Road (Proposed) N. 87° 59' 23" E., 25.00' to the point of beginning, containing 0.13 acre.

The Board of Supervisors accepted the following proffered conditions which further regulate the above described property in addition to all applicable provisions of Chapter 22, Code of Henrico (Zoning Ordinance). They are as follows:

A. Applicable to property to be rezoned O/S Office Service ("Parcel 1"):

1. No heliport or microwave transmission tower on Parcel I will be located within one thousand feet of the lots within the Lakeside Hills Subdivision as the same exists on September 11, 1986.
2. No direct vehicular access for the benefit of Parcel I will be available through Lakeside Hills Subdivision as the same exists on September 11, 1986.
3. At no time will Sovran Financial Corporation or Sovran Bank, N.A., or any wholly owned subsidiary of either, is the owner of that portion of Parcel I which is located (i) between the southern line of Parcel I and the greater of (a) four hundred feet (400') north of the southern property line of Parcel I or (b) the distance between the southern line of Parcel I and the southern line of any future roadway that extends Wilkinson Road westerly from its present intersection with U. S. Route 1 through Parcel I to Darracott and Parham and (ii) between the northern line of Parcel I and a point fifteen hundred feet (1500') west of the eastern line of Parcel I, will such portion of Parcel I be developed for the principal use of a warehouse, distribution center or vehicle service facility.

B. Applicable to property to be rezoned O-2 Offices ("Parcel II"):

No buildings shall be constructed within one hundred (100) feet of the western line of the property.

C. Applicable to property to be rezoned B-3 General Business ("Parcel III"):

1. Not more than one sign identifying the project to be constructed on Parcel I (the "Project"), shall be constructed on the property and no other use shall be made of Parcel III except for such sign.
2. Any sign constructed on the property to identify the Project shall (a) not exceed fifteen (15) feet in height, (b) if illuminated, be illuminated from within the sign structure and (c) each sign face shall not exceed fifty (50) square feet in area.

The Planning Office has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

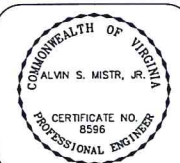
Sincerely,

Liberty D. P. D. D. D.
for W. F. LaVecchia, P.E.,
County Manager

[illegible]

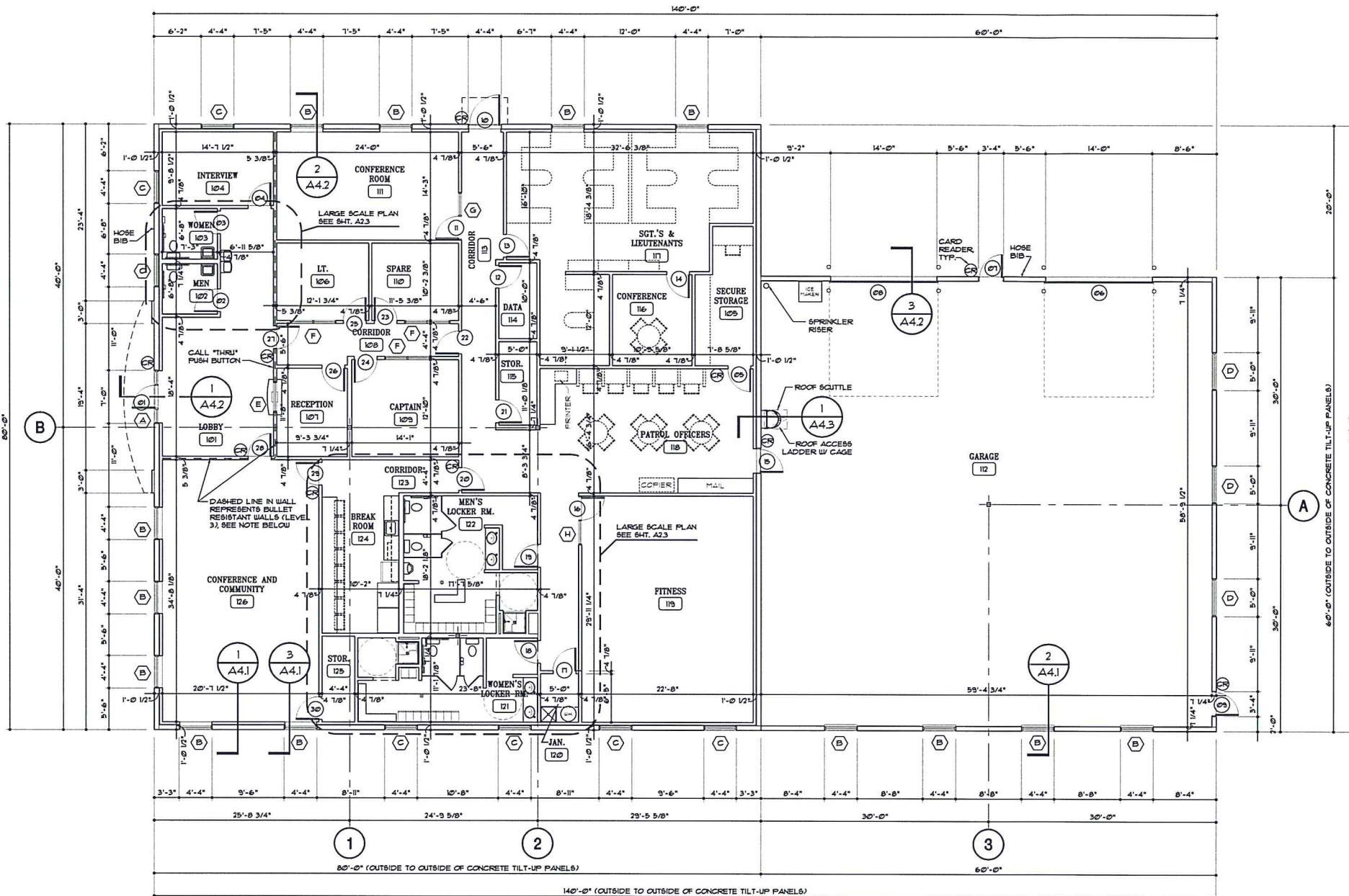
PROFFERS AND APPROVAL LETTERS

PPD - CENTRAL PRECINCT
VILLA PARK DRIVE
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA

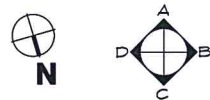


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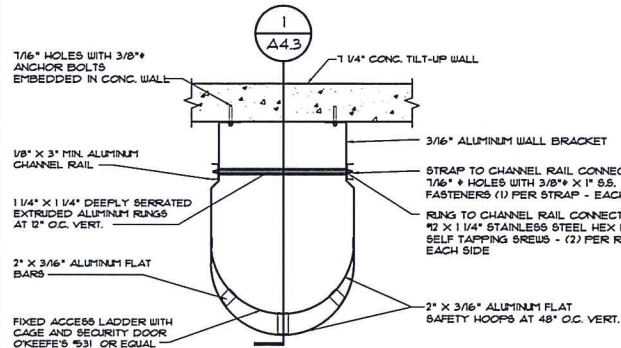
FLOOR PLAN
SCALE: 1/8" = 1'-0"



BULLET RESISTANT WALL (LEVEL 3)
3 5/8" HTL. STUDBS AT 16" O.C., AIRPORTEX 106 300 1/2" BULLET RESISTANT COMPOSITES (ON LOBBY SIDE) w/ 4" UDS BACK-UP AT JOINTS AND 5/8" GYP. WALLBOARD EXTERIOR EACH SIDE

NOTE:
THE FOUR EXTERIOR DOORS (101, 102, 103 & 105) AND ONE SECURE STORAGE DOOR (105) SHALL HAVE ELECTRIC STRIKES, FAIL SECURE DOOR LATCHES AND DOOR LATCH MONITOR SENSORS THAT PROVIDE PRIMARY AND SECONDARY NOTIFICATION IF LEFT OPEN FOR CERTAIN PERIOD OF TIME (NOTIFY OCCUPANTS OF BUILDING AND THEN NOTIFY SECURITY CONSOLE).

NOTE:
ALL ROOM PARTITIONS TO RUN TO THE BOTTOM OF ROOF DECK.



ROOF ACCESS LADDER PLAN

Revisions

Job Number

1342

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Issued Date

07 | 01 | 2014

HCPD - CENTRAL PRECINCT

HENRICO COUNTY, VIRGINIA

Sheet Name

FLOOR PLAN

Sheet Number

A1.1

01 of 10

DOOR SCHEDULE																	H-WARE
DOOR NO.	SIZE			DOORS				FRAMES			JAMB DETAIL	T-HOLD	CLSR.	REMARKS			
	W	H	T	MAT.	TYPE	FINISH	GLASS	LABEL	MAT.	TYPE						FINISH	
01	3'-0"	7'-0"	1 3/4"	ALUM.	A	PREFIN.	TEMP.	--	ALUM.	F	PREFIN.	A/A21	ALUM.	CONCLD.	# SEE WINDOW TYPES ELEV. 'A' SHEET A31	--	
02	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	ELECTRIC STRIKE AND CARD READER	--	
03	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
04	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
05	3'-0"	7'-0"	1 3/4"	H.M.	C	PAINTED	--	--	H.M.	A	PAINTED	C/A21	--	SURFACE	ELECTRIC STRIKE AND CARD READER	--	
06	14'-0"	16'-0"	--	MTL	G	PREFIN.	--	--	MTL	TRACK	--	G/A21	--	--	--	--	
07	3'-0"	7'-0"	1 3/4"	H.M.	C	PAINTED	--	--	H.M.	A	PAINTED	F/A21	ALUM.	SURFACE	ELECTRIC STRIKE AND CARD READER	--	
08	14'-0"	16'-0"	--	MTL	G	PREFIN.	--	--	MTL	TRACK	--	G/A21	--	--	--	--	
09	3'-0"	7'-0"	1 3/4"	H.M.	C	PAINTED	--	--	H.M.	A	PAINTED	F/A21	ALUM.	SURFACE	ELECTRIC STRIKE AND CARD READER	--	
10	4'-0"	7'-0"	1 3/4"	H.M.	B	PAINTED	--	--	H.M.	C	PAINTED	E/A21	ALUM.	SURFACE	ELECTRIC STRIKE AND CARD READER	--	
11	3'-0"	7'-0"	1 3/4"	S.C. WD.	F	STAINED	TEMP.	--	ALUM.	F	PREFIN.	B/A21	--	--	# SEE WINDOW TYPES ELEV. 'G' SHEET A31	--	
12	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
13	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
14	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
15	3'-0"	7'-0"	1 3/4"	H.M.	C	PAINTED	--	--	H.M.	A	PAINTED	E/A21	ALUM.	SURFACE	ELECTRIC STRIKE AND CARD READER	--	
16	3'-0"	7'-0"	1 3/4"	S.C. WD.	F	STAINED	TEMP.	--	ALUM.	F	PREFIN.	B/A21	--	--	# SEE WINDOW TYPES ELEV. 'H' SHEET A31	--	
17	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
18	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	SURFACE	--	--	
19	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	SURFACE	--	--	
20	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	SURFACE	ELECTRIC STRIKE AND CARD READER	--	
21	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
22	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
23	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
24	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
25	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
26	3'-0"	7'-0"	1 3/4"	S.C. WD.	D	STAINED	--	--	H.M.	A	PAINTED	C/A21	--	--	--	--	
27	3'-0"	7'-0"	1 3/4"	S.C. WD.	E	STAINED	--	--	H.M.	B	PAINTED	D/A21	--	SURFACE	BULLET RESISTANT WOOD DOOR FRAME EQUAL TO CHICAGO BULLET PROOF 'GH SERIES' (UL STANDARD '92' LEVEL 3) w/ ELECTRIC STRIKE AND CARD READER	--	
28	3'-0"	7'-0"	1 3/4"	S.C. WD.	E	STAINED	--	--	H.M.								

NOTE: ALL DOOR HARDWARE SHALL COMPLY IBC 2009 SECTION 1108.13 FOR HANDICAPPED ACCESSIBILITY, CABO/ANSI, AND ADA

THE FOUR EXTERIOR DOORS (#01, #07, #09 & #15) AND ONE SECURE STORAGE DOOR (#05) SHALL HAVE ELECTRIC STRIKES, FAIL SECURE DOOR LATCHES AND DOOR LATCH MONITOR SENSORS THAT PROVIDE PRIMARY AND SECONDARY NOTIFICATION IF LEFT OPEN FOR CERTAIN PERIOD OF TIME (NOTIFY OCCUPANTS OF BUILDING AND THEN NOTIFY SECURITY CONSOLE).



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



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ROOM FINISH SCHEDULE													
NO.	SPACE	FLOOR	BASE	WALLS				CEILING	CEILING HT.	REMARKS	FINISH GROUP		NO.
				A	B	C	D						
101	LOBBY	CERAMIC TILE	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	C		101
102	MEN	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	--	E		102
103	WOMEN	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	--	E		103
104	INTERVIEW	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	B		104
105	SECURE STORAGE	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	E		105
106	LIEUTENANT	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	A		106
107	RECEPTION	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	A		107
108	CORRIDOR	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	D		108
109	CAPTAIN	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	A		109
110	SPARE	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	A		110
111	CONFERENCE ROOM	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	10'-0"	--	B		111
112	GARAGE	SEALED CONC.	NONE	INSUL. WALL PANELS	INSUL. WALL PANELS	INSUL. WALL PANELS	INSUL. WALL PANELS	EXPOSED STRUCT. MTD.	VARIES	WALL PANELS - 3/4" THERMAX LIGHT DUTY W/ UNITS 125 MIL ALUM. SHEET	H		112
113	CORRIDOR	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	D		113
114	DATA	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	E		114
115	STORAGE	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	E		115
116	CONFERENCE	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	B		116
117	SGT'S & LIEUTENANTS	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	A		117
118	PATROL OFFICERS	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	D		118
119	FITNESS	FLEXIBLE RUBBER	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	10'-0"	--	F		119
120	JANITOR	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	E		120
121	WOMEN'S LOCKER ROOM	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	--	G		121
122	MEN'S LOCKER ROOM	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	--	G		122
123	CORRIDOR	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	D		123
124	BREAK ROOM	V.C.T.	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	D		124
125	STORAGE	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	9'-0"	--	B		125
126	CONFERENCE AND COMMUNITY	CARPET	VNTYL	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	2x2 A.C.T.	11'-0"	--	B		126

FINISH GROUPS	
FINISH GROUP A 101 RECEPTION, 106 LIEUTENANT, 109 CAPTAIN, 110 SPARE, 117 SERGEANTS & LIEUTENANTS CARPET TILES - MOHAWK NEW COLLEGIATE 8559 "GRADUATE" VNTYL BASE - JOHNSONITE 18 "NAVY" WALL - PAINT SW 6386 "NAFERY" CEILING - 2'x2' ACOUSTICAL TILES	FINISH GROUP E 102 MEN, 103 WOMEN, 105 SECURE STORAGE, 114 DATA, 115 STORAGE, 120 JANITOR VCT FLOORING - ARMSTRONGS 51533 "BLUE CLOUD" VNTYL BASE - JOHNSONITE 18 "NAVY" WALL - PAINT SW 6385 "DOVER WHITE" CEILING - 2'x2' ACOUSTICAL TILES
FINISH GROUP B 104 INTERVIEW, 111 CONFERENCE, 116 CONFERENCE, 125 STORAGE, 126 CONFERENCE & COMMUNITY CARPET TILES - MOHAWK NEW COLLEGIATE 8559 "GRADUATE" VNTYL BASE - JOHNSONITE 18 "NAVY" FRP WALL PROTECTION TO 48" AFF - VARIETEX 809 "TAUN BROWN" SANDSTONE TEXTURE WALL - PAINT SW 6385 "DOVER WHITE" CEILING - 2'x2' ACOUSTICAL TILES *105 STORAGE DOES NOT USE FRP WALL PROTECTION. WALL PAINT WILL CONTINUE FROM THE BASE TO THE CEILING.	FINISH GROUP F 119 FITNESS FLEXIBLE FLOORING - MATS INC. SPECTATION 3 MM RED SNAPPER VNTYL BASE - JOHNSONITE 40 "BLACK" WALL - PAINT SW 6385 "DOVER WHITE" / ACCENT WALL SW 6610 "GOLD CREST" CEILING - 2'x2' ACOUSTICAL TILES
FINISH GROUP C 101 LOBBY CERAMIC TILE - DALTILE PORCEALTO GRANTI 12"x12" TILES CD 40 "GRIGIO GRANITE" TEXTURED SURFACE TILE BASE - DALTILE PORCEALTO COVE BASE CD40 "GRIGIO GRANITE" WALL - PAINT SW 6386 "NAFERY" CEILING - 2'x2' ACOUSTICAL TILES	FINISH GROUP G 121 WOMEN'S LOCKER ROOM, 122 MEN'S LOCKER ROOM VCT FLOORING - ARMSTRONGS 51511 "BODACIOUS BLUE" VNTYL BASE - JOHNSONITE 18 "NAVY" CERAMIC TILE AT SHOWER - AMERICAN OLEAN MOSAIC TILE 1"x1" "STORM GRAY SPECKLED" A06 TILE BASE AT SHOWER - AMERICAN OLEAN MOSAIC COVE BASE "STORM GRAY SPECKLED" A06 WALL - PAINT SW 6385 "DOVER WHITE" TOILET PARTITIONS - ALL AMERICAN METAL 18 "ROYAL BLUE" COUNTERTOPS - ULSONART LAMINATE D378-60 "INDIGO" CEILING - PAINTED GYPSUM BOARD.
FINISH GROUP D 108 CORRIDOR, 113 CORRIDOR, 118 PATROL OFFICERS, 123 CORRIDOR, 124 BREAK ROOM VCT FLOORING - ARMSTRONGS 51533 "BLUE CLOUD" VNTYL BASE - JOHNSONITE 18 "NAVY" FRP WALL PROTECTION TO 48" AFF - VARIETEX 104 "YELLOW SUNRISE" SANDSTONE TEXTURE WALL - PAINT SW 6385 "DOVER WHITE" CEILING - 2'x2' ACOUSTICAL TILES ADDITIONAL FINISHES IN 124 BREAK ROOM ONLY: CABINETS - MAPLE FINISH TO MATCH ULSONART LAMINATE TS03-38 "HANTINGTON MAPLE" COUNTERTOPS - ULSONART LAMINATE D378-60 "INDIGO"	FINISH GROUP H 112 GARAGE FLOOR - SEALED CONCRETE WALL - RIGID INSULATION W/ WHITE ACRYLIC COATED ALUMINUM CEILING - PAINTED STRUCTURE - WHITE TO MATCH WALLS

Revisions

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1342
50% Issued Date
07 01 2014

Sheet Name
FINISH SCHEDULE

Sheet Number
A2.2
03 of 10

17'-4"

6'-10 1/8"

6'-0"

2'-6"

2'-10"

1
A23

PLASTIC LAM. WALL CABINETS, 1'-0" DEEP

ADJUSTABLE SHELVING

PLASTIC LAM. MICROWAVE CABINET, 1'-6" D.

ELEC. OUTLET IN BACK OF CABINET FOR MICROWAVE

PLASTIC LAM. COUNTER TOP 2'-0" DEEP AND 4" HIGH SPLASH

REFRIG. NIG.

PLASTIC LAM. BASE CABINETS, 1'-0" DEEP

ADJUSTABLE SHELVING

VINYL BASE

2'-0"

7'-0"

1'-0"

2'-6"

1'-6"

1'-8"

1'-2"

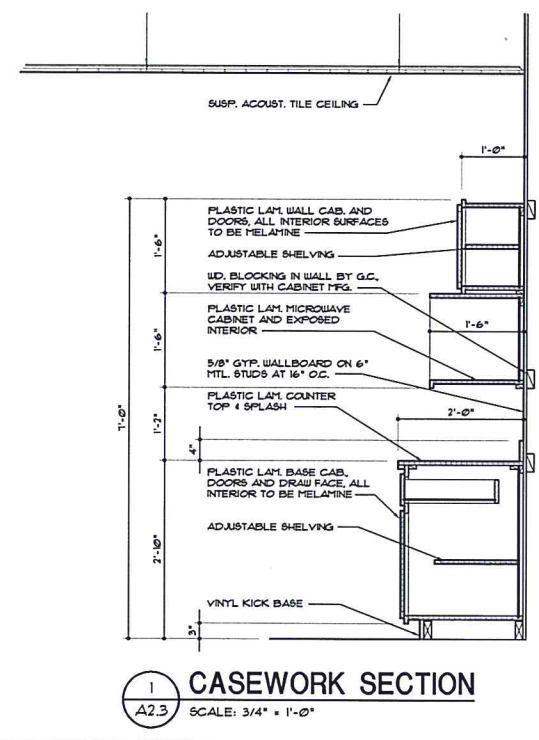
GFI ELEC. OUTLET 42"

ACCESSORY USE / SINK (ICC/ANSI A117-98)

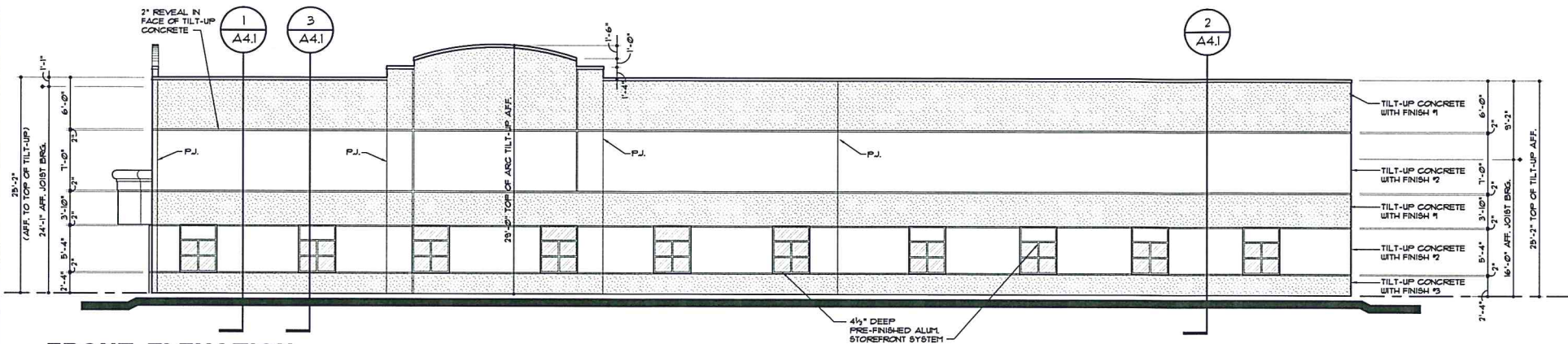
△

BREAK ROOM ELEVATIONS

SCALE: 1/4" = 1'-0"

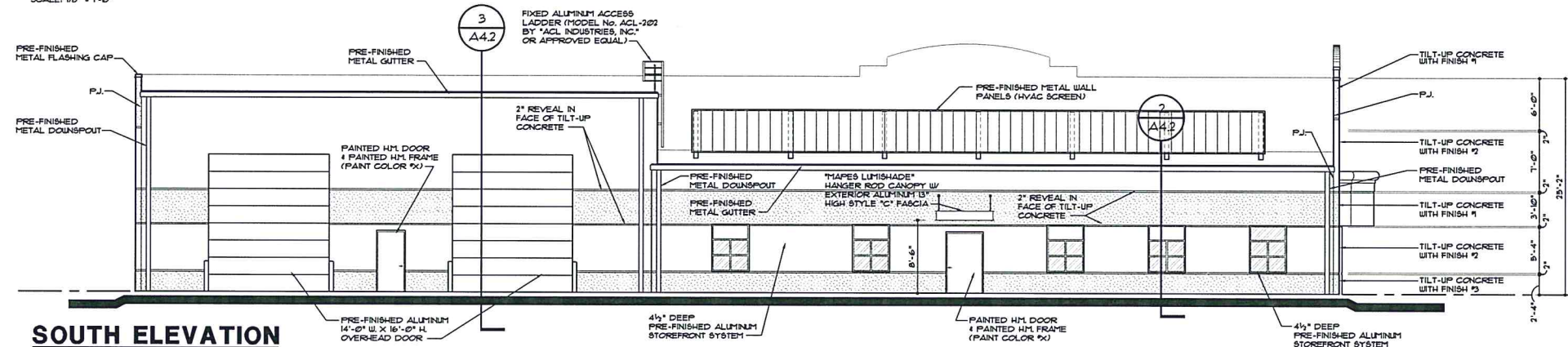


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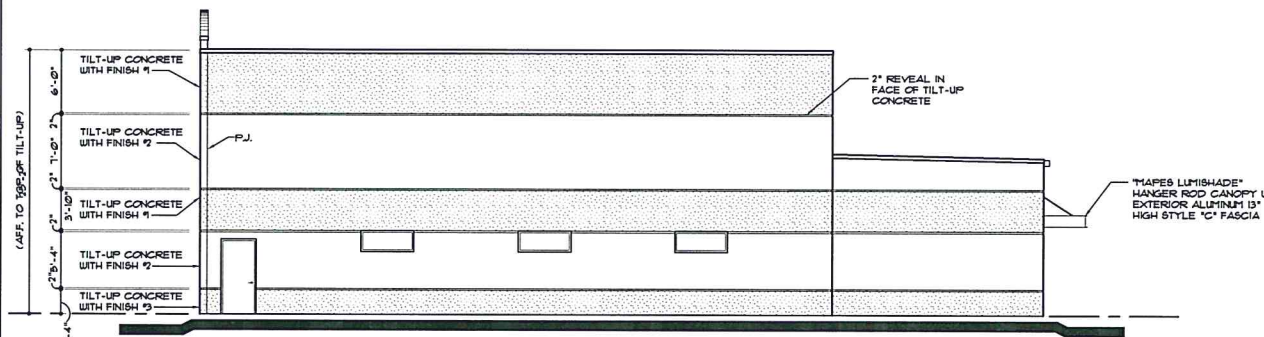
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



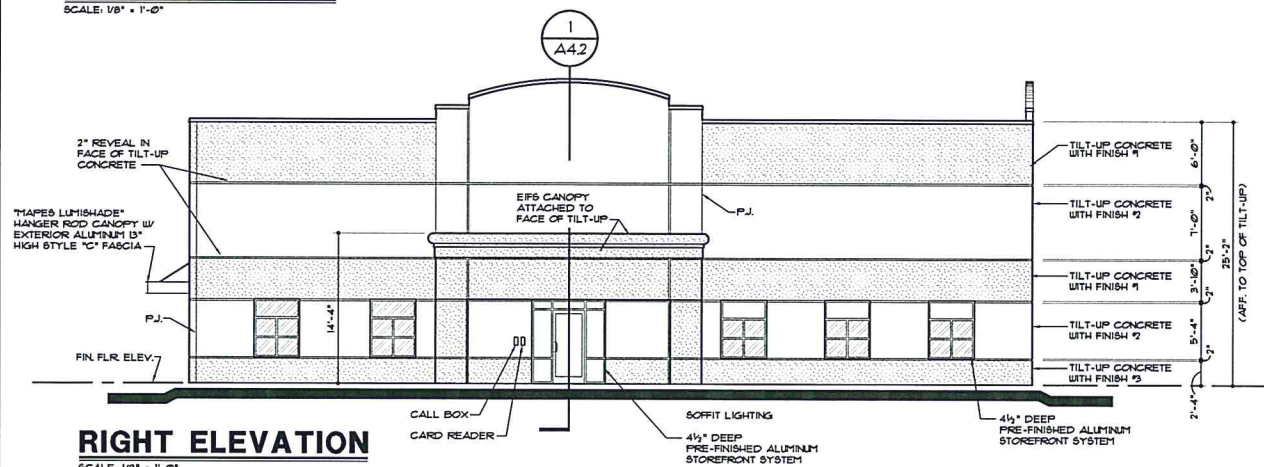
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

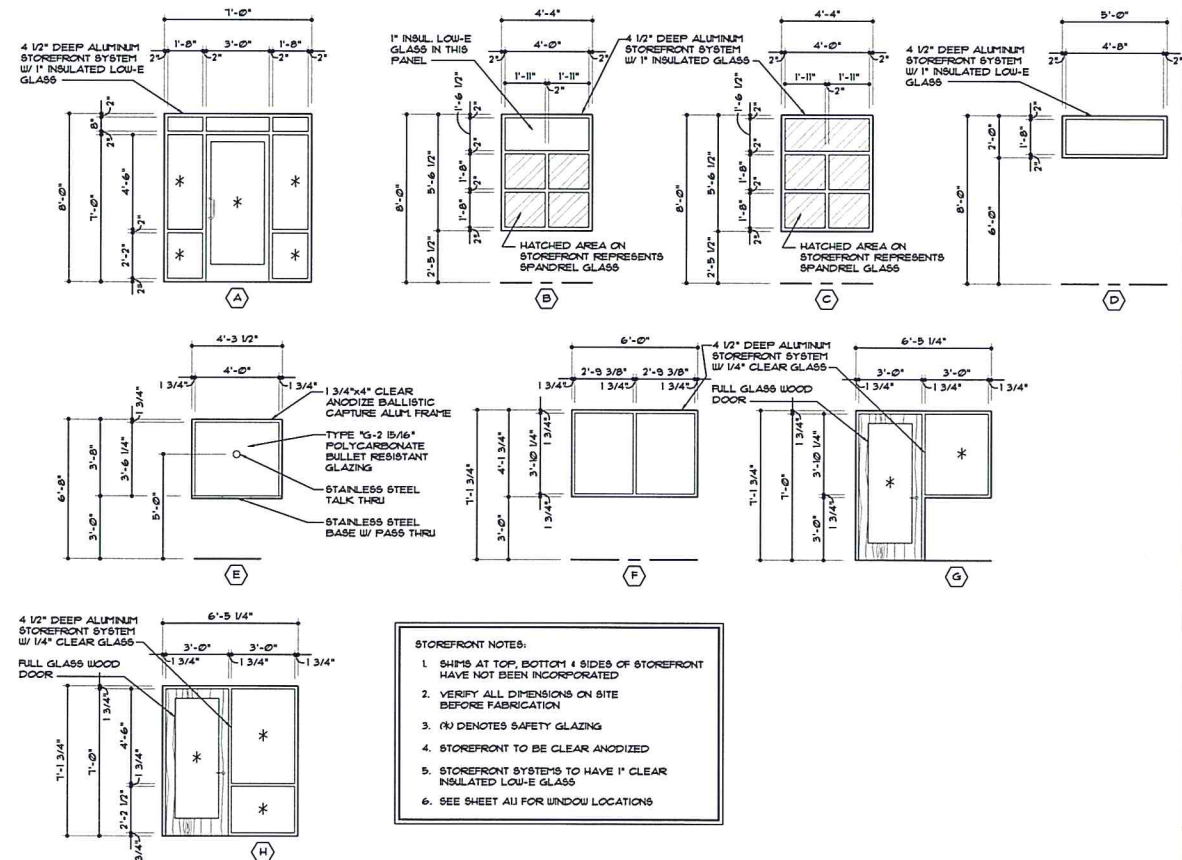


RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE LEGEND		
MATERIAL	MANUFACTURER	COLOR
COLOR 1	EQUAL TO STO/ DURON	STO #1403 BURNT ASH - FINE SAND FINISH / DURON 819-41 FIRED STEEL - SAND TEXTURED
COLOR 2	EQUAL TO DURON	SHELL WHITE - SAND TEXTURED
COLOR 3	EQUAL TO STO/ ICI	#20305 OATHEAL - FINE SAND FINISH ICI 655 SANTA'S BEARD - SAND TEXTURED
COLOR 4	"	" SEE SPECIFICATIONS FOR OVER-HEAD DOOR
COLOR 16	"	" SEE SPEC'S FOR STOREFRONT COLOR (CLEAR ANODIZED)
COLOR 17	EQUAL TO DURON	#1265A GOLDEN GLISTEN (LOW HIDE)

NOTE: GENERAL CONTRACTOR IS TO PROVIDE A FULL SIZE COLOR MOCK-UP PANEL FOR APPROVAL OF ALL EXTERIOR COLORS AND FINISHES PRIOR TO INSTALLATION



STOREFRONT WINDOW TYPES

SCALE: 1/4" = 1'-0"

- STOREFRONT NOTES:
1. SHPS AT TOP, BOTTOM & SIDES OF STOREFRONT HAVE NOT BEEN INCORPORATED
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE FABRICATION
 3. (A) DENOTES SAFETY GLAZING
 4. STOREFRONT TO BE CLEAR ANODIZED
 5. STOREFRONT SYSTEMS TO HAVE 1" CLEAR INSULATED LOW-E GLASS
 6. SEE SHEET A11 FOR WINDOW LOCATIONS

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Job Number

1342

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Issued Date

07 | 01 | 2014

HCPD - CENTRAL PRECINCT

HENRICO COUNTY, VIRGINIA

Sheet Name

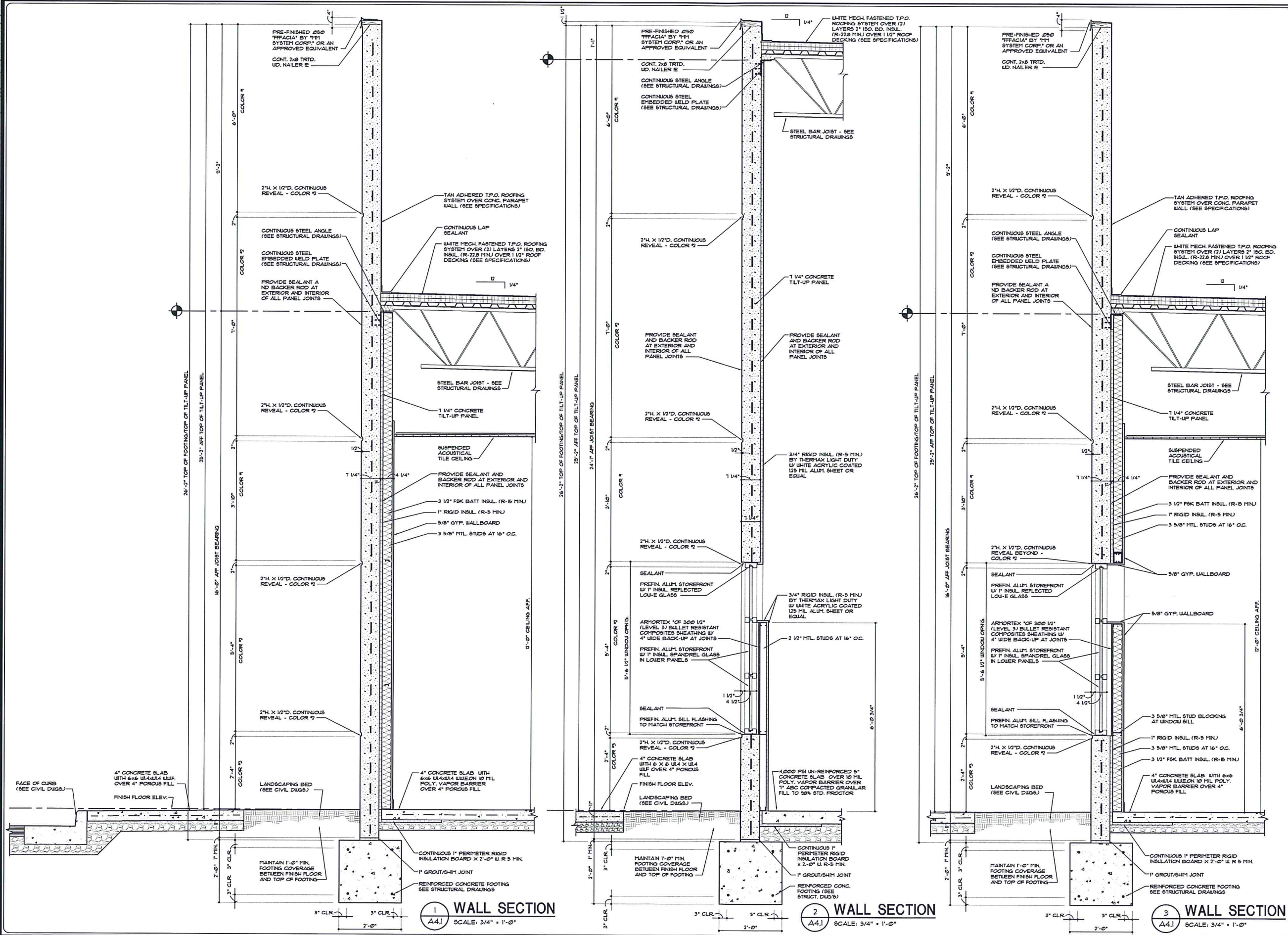
**EXTERIOR
ELEVATIONS
WINDOW
TYPES**

Sheet Number

A3.1

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HENRICO COUNTY, VIRGINIA

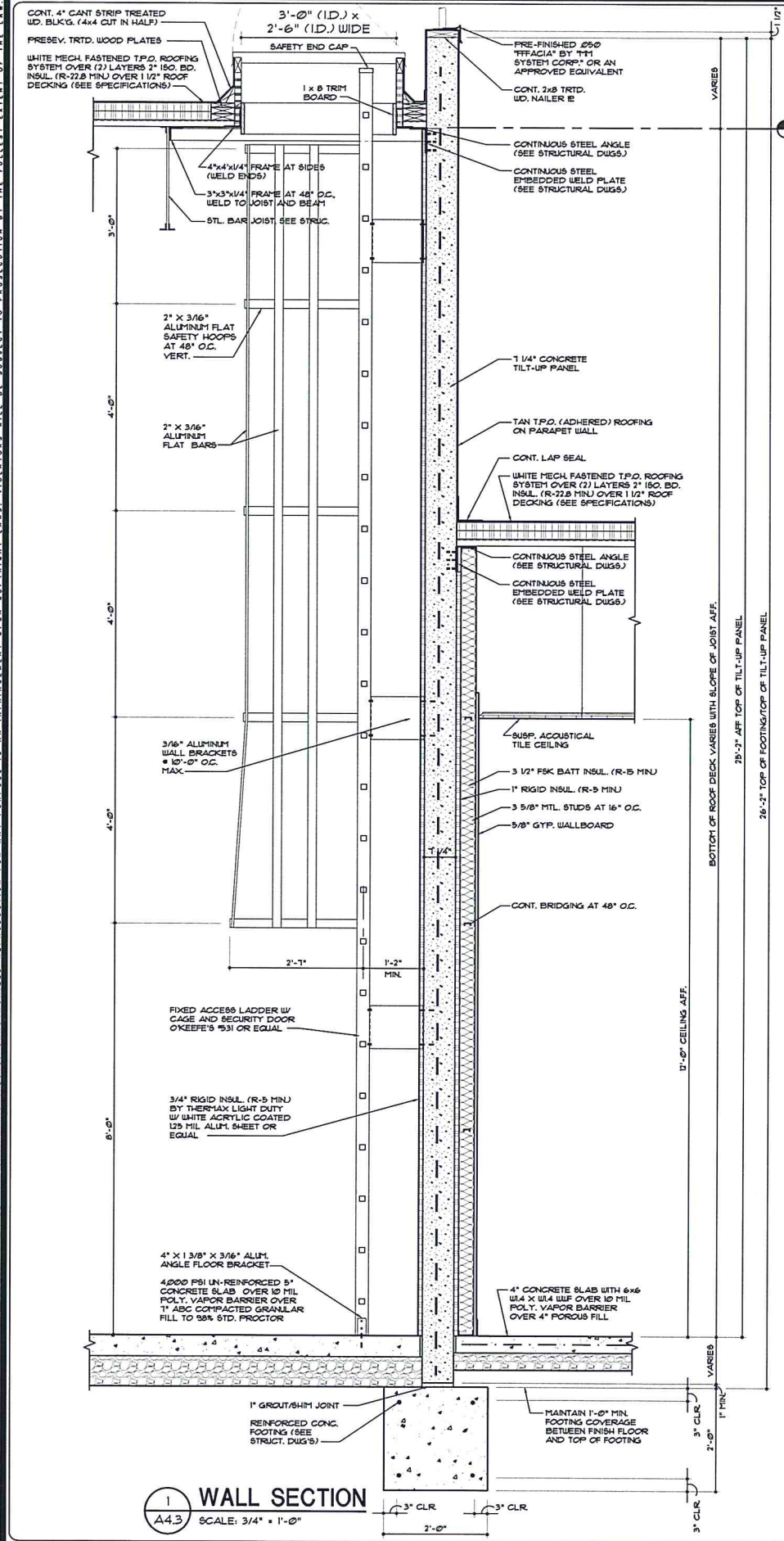
Sheet Name
WALL SECTIONS

Sheet Number
A4.1

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1 WALL SECTION
A4.3 SCALE: 3/4" = 1'-0"

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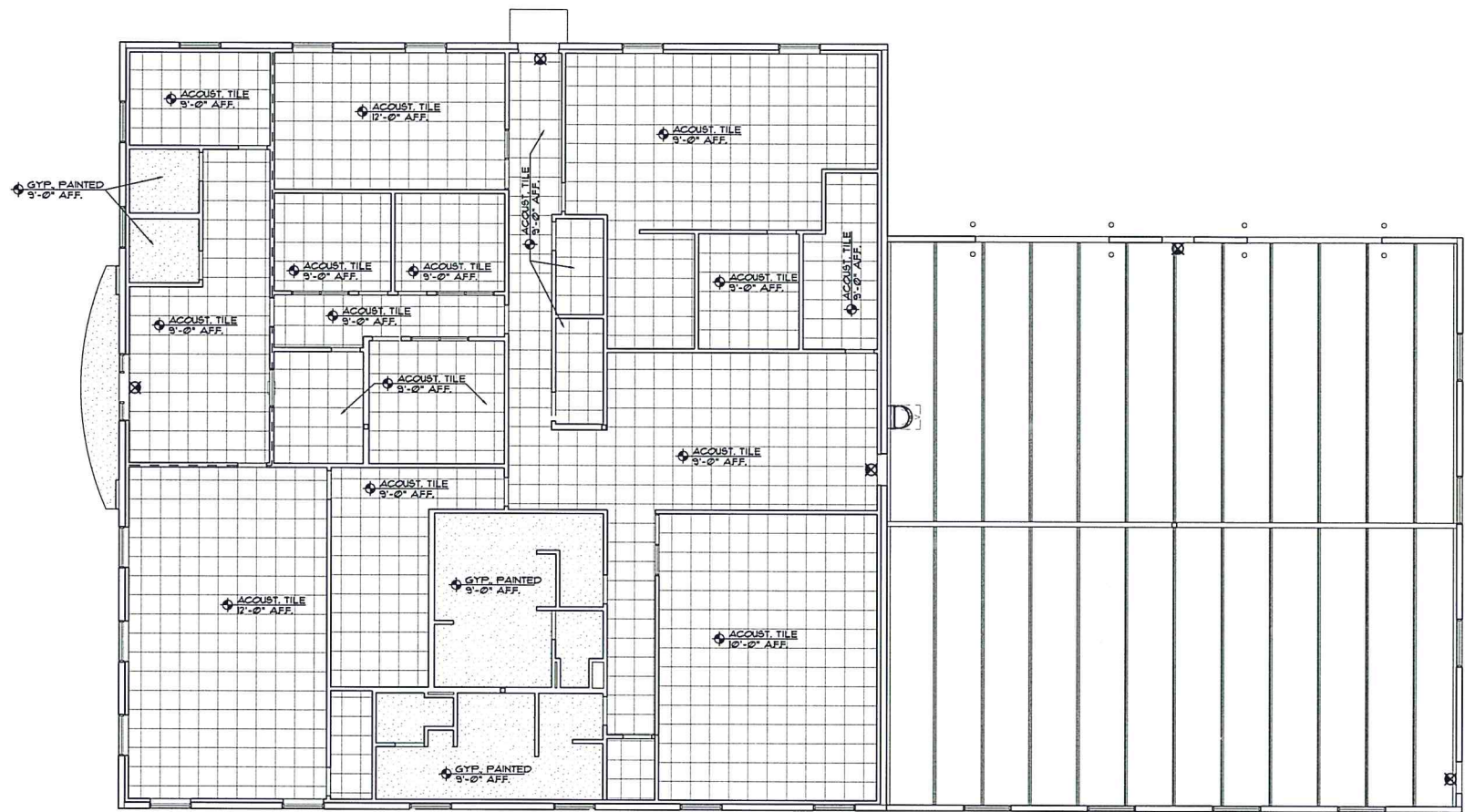
HENRICO COUNTY, VIRGINIA

Sheet Name
WALL SECTIONS

Sheet Number
A4.3

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REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

Revisions

Job Number
1342
50% Issued Date
07 01 2014

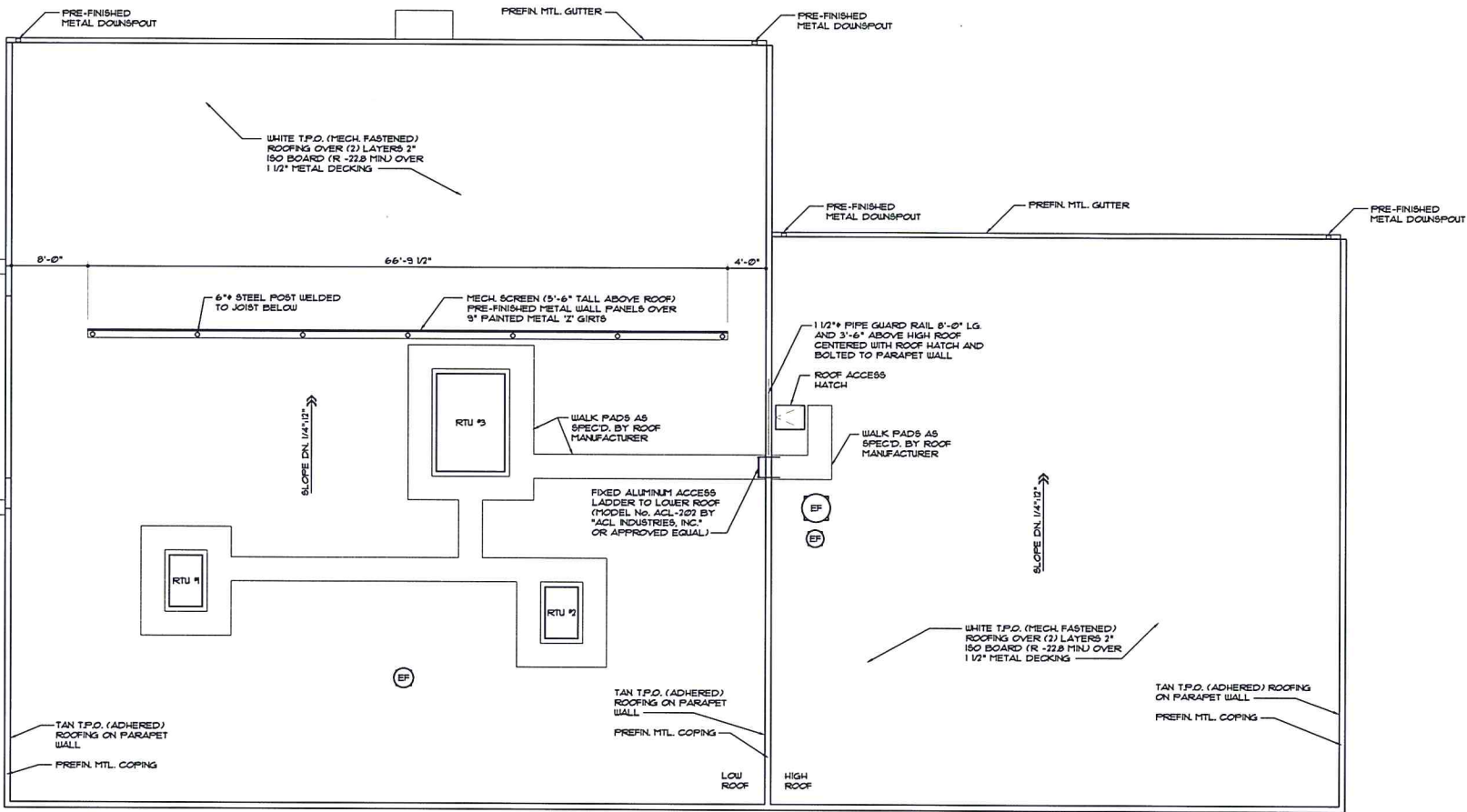
HCPD - CENTRAL PRECINCT

HENRICO COUNTY, VIRGINIA

Sheet Name
REFLECTED CEILING PLAN

Sheet Number
A5.1
09 of 10

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ROOF PLAN
SCALE: 1/8" = 1'-0"

Revisions

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HCPD - CENTRAL PRECINCT

HENRICO COUNTY, VIRGINIA

Sheet Name
ROOF PLAN

Sheet Number
A6.1
10 of 10

RELATED MECHANICAL WORK
PROVIDED BY OTHERS

Fire protection
Work beyond 5'-0" outside of the building
Final connections to utilities at 5'-0" outside (if we are there "first")
Public Utility connection fees
Exterior gas piping, meter and fees
Concrete pads or pipe bollards
Temporary water or sanitary utilities
Temporary heating and/or cooling
Foundation drainage
Roof drainage (except @ front canopy)
Gutters, scupper boxes and downspouts
Flashing for roof penetrations
Blocking, leveling or shimming of roof curbs
Roof cutting and patching (including metal decking)
Steel framing at roof mounted equipment
Flashing/Framing/Sealing at wall openings
Power wiring
Disconnect switches
120/1/60 interlock wiring required for fan/cover and fans to light switches
Smoke detectors and associated fire alarm wiring
Transfer air opening in full height walls
120/1/60 convenience outlets at mechanical equipment
100 VA transformers w/ 24 VAC secondaries for zone damper system
Access doors

DESIGN CONDITIONS

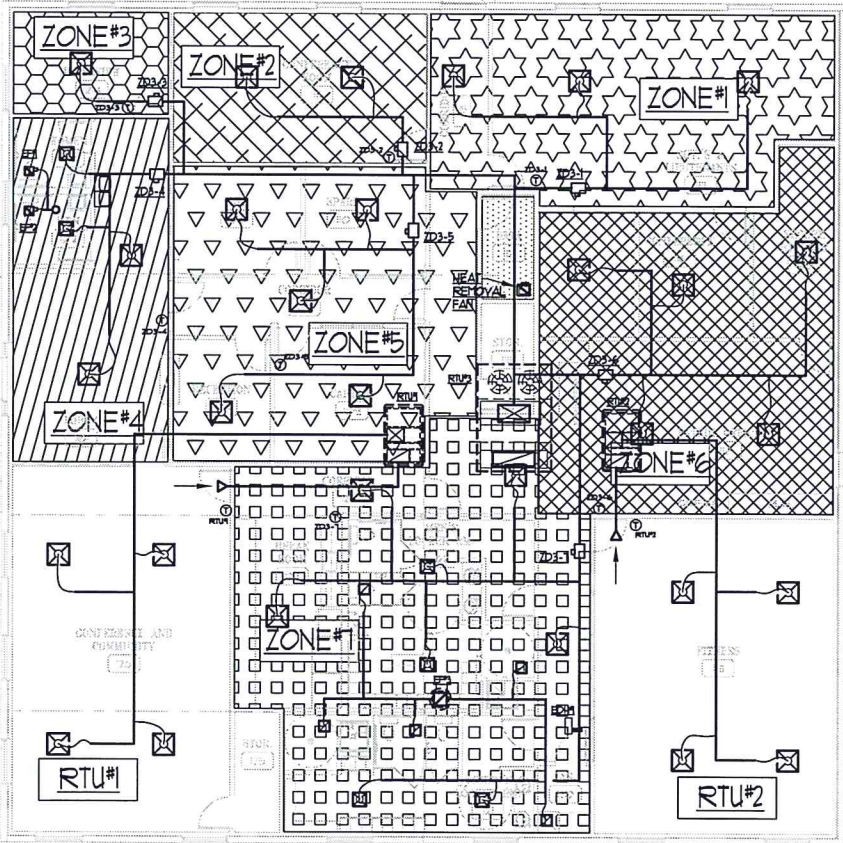
Summer (outside conditions - ASHRAE 15)
AREAS COOLED - 75° F
Winter (outside conditions - ASHRAE 99%)
AREAS HEATED - 70° F
GARAGE AREA - 65° F

H.V.A.C. SPECIFICATIONS

1. Low pressure supply air ductwork shall be galvanized sheet metal fabricated, braced, installed and sealed in accordance with SMACNA standards for static pressures up to 2" W.C.
2. Return air ductwork shall be galvanized sheet metal fabricated, braced, installed and sealed in accordance with SMACNA standards for static pressures down to -2" W.C.
3. Exhaust air ductwork shall be galvanized sheet metal fabricated, braced, installed and sealed in accordance with SMACNA standards for pressures from +1" to -1" W.C. Alum-Flex may be used as required.
4. Insulate all supply air ductwork within ceiling plenum areas with 1-1/2" thick, 3/4 PCF ductwrap.
5. Return ductwork shall be lined with 1/2" thick, 15 PCF acoustical duct liner.
6. Duct sizes shown on the drawings are inside clear dimensions. Increase duct sizes as shown to allow for liner.
7. Condensate drain piping shall be PVC for RTU's. Spill on roof. Condensate drain piping from FCU's shall be Type M copper w/ 1/2" fiberglass insulation w/ ASJ.

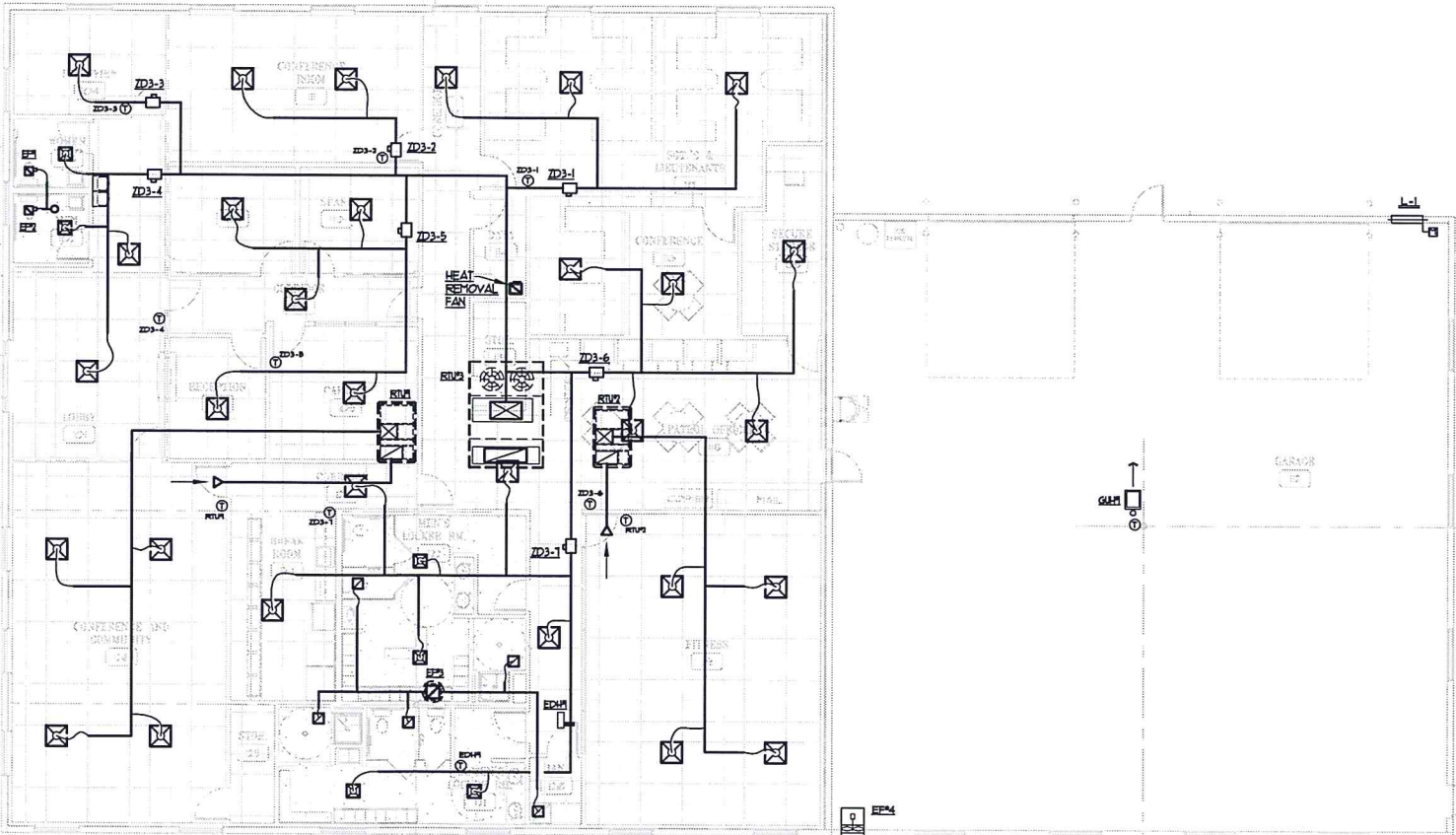
HVAC CODE NOTES

1. All mechanical work shall be provided in accordance with the 2009 International Mechanical Code (IMC) and the Henrico County's requirements.
2. Test all mechanical systems in accordance with the 2009 IMC, and the Henrico County's requirements.
3. HVAC Systems shall be designed in accordance with the International Energy Conservation Code per IMC 301.2.
4. All HVAC equipment shall be tested by an independent agency certified for public safety as per IMC 301.4.
5. All piping and duct penetrations through fire rated assemblies shall be properly fire-stopped in accordance with IMC 301.2. Install fire dampers in accordance with the manufacturer's written instructions.
6. Provide pipe bollards or other means (by others) to protect all mechanical equipment subject to vehicular damage as per IMC 303.4.
7. Install all mechanical equipment in accordance with the manufacturer's written instructions as required by IMC 304.1.
8. Equipment located in hazardous locations (Repair Garages, Parking Garages, etc.) shall have its ignition sources 18" above the floor as per IMC 304.3.
9. Equipment located in service garages (or other areas) subjected to motor vehicle traffic shall be installed a minimum of 8' AFF. Where motor vehicles exceed 6'-0" in height and are capable of passing under such equipment it shall be installed 2'-0" above the height of the tallest vehicle as per IMC 304.5.
10. Maintain clearances to combustible materials in accordance with the manufacturer's written instructions as per IMC 304.8.
11. Guard Rails shall be provided (by others) at all equipment located within 10'-0" of the roof edge as per IMC 304.10.
12. Permanent access shall be provided (by others) for all mechanical equipment located on roofs exceeding 16'-0" in height as per IMC 306.5.
13. Intake air openings shall be located at least 10'-0" away from any hazardous or noxious exhaust. Where an intake is located within 10' of such exhaust, it shall be located a minimum of 2' below the contaminant source as per IMC 401.5.1.
14. Outside air is provided based on the occupancy rate and ventilation rate as required by VUSBC Table 403.3. See Outside Air Table this sheet.
15. Toilet rooms shall be exhausted at the rate of 75 CFM per water closet and urinal as per IMC 403.3.
16. Locker rooms shall be exhausted at the rate of 0.5 cfm/sf as per IMC 403.3.
17. Janitor closets shall be exhausted at the rate of 0.5 CFM per square foot as per IMC 403.3.
18. Materials located within a ceiling plenum shall be rated for such use as per IMC 602.2.1.
19. Flexible duct shall not exceed 14'-0" in length as per IMC 603.6.2.1. Provide 1" metal strap hangers to provide proper support. For non-ceiling plenum installations provide R-6 minimum insulation.
20. Flexible duct penetrations shall not pass through any floor, wall, ceiling or fire rated assembly as per IMC 603.6.2.2.
21. Provide a smoke detector (by others) in the return air duct upstream of any filters, outside air connections, etc. for an air handling system with a return air capacity greater than 2000 cfm. as per IMC 606.2.1. (RTU's only)
22. Provide an audio-visual alarm located in a constantly attended location (by others) unless a fire alarm system is provided as per IMC 606.4.1, Exception 1.
23. Combustion air is provided for GUH's by inside air since the area is defined as an unconfined space as per IMC 102.2. (50 cubic feet per 1000 MBH input).
24. Gas vents shall be single wall where clearances to combustibles exceed 6" and are in heated areas. Gas vents shall be Type B where clearances to combustibles are less than 6" or are in an unheated area. Terminate gas vents in accordance with IMC 602.6.
25. Provide an economizer cycle on all HVAC equipment with a cooling capacity greater than 54000 BTU/HR as per the 2009 International Energy Conservation Code (IECC) 503.3.1. (ie. RTU's only)
26. Garage is considered an "enclosed parking garage" and will require ventilation at the rate of 0.75 cfm/sf as per VUSBC table 403.3. Minimum ventilation provided @ 0.05 cfm/sf per IMC 404.2 by EF4 and maximum ventilation provided by CO controlled EF5.



MECHANICAL ZONING FLOOR PLAN

SCALE: 1/8" = 1'-0"



MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

50% DESIGN
DEVELOPMENT
6/30/2014

MECHANICAL FLOOR PLAN, ZONING PLAN & NOTES
HCPD - CENTRAL PRECINCT
HENRICO COUNTY, VIRGINIA

DESIGNED BY: J.B. Staley
DRAWN BY: J.B. Staley
CHECKED BY: R.S. REAMES
SCALE: 1/8" = 1'-0"
DATE: 6/30/14
SHEET NO.

M-1

SHEET 1 OF 1



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REVISIONS

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PLUMBING SPECIFICATIONS

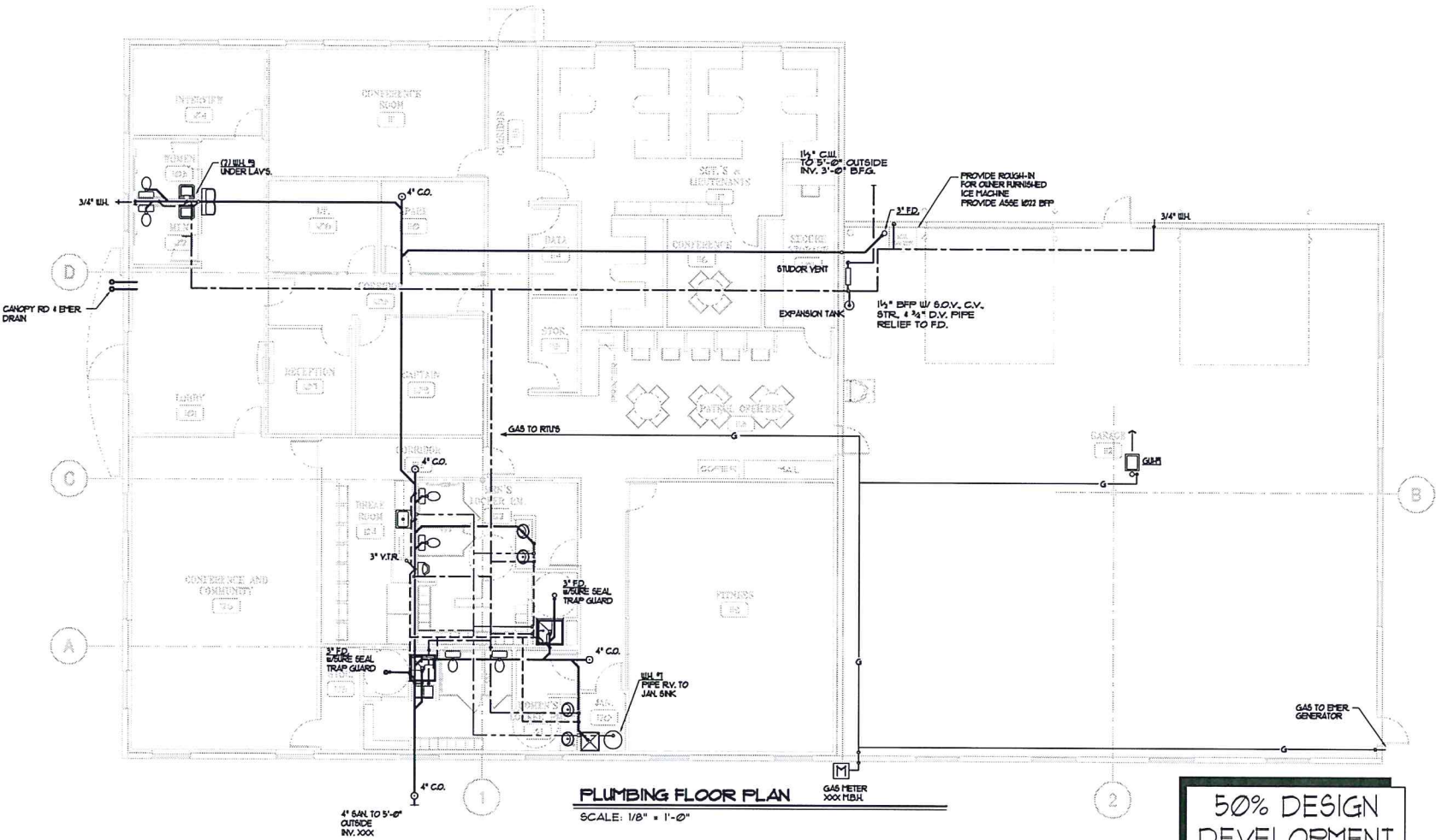
- 1. All Sanitary waste, vent and storm piping below ground shall be Form Core PVC. Utilize purple primer and glue to provide solvent weld joints. Slope waste, vent and storm piping 1/8"/ft. unless otherwise noted.
- 2. All sanitary waste, vent and storm piping located above grade in ceiling plenums shall be No-Hub Cast Iron.
- 3. All domestic water piping above grade shall be Type "M" copper with lead free soldered joints. Below ground piping shall be Type "L".
- 4. Insulate domestic cold water piping above grade where concealed with 1/2" fiberglass insulation with ASJ. Domestic cold water piping located within ceiling plenum areas shall not be insulated.
- 5. Insulate all domestic hot water piping with 1" fiberglass insulation with ASJ.
- 6. Gas piping 2" and smaller shall be Schedule 40 black T4C with black malleable threaded fittings. Use pipe dope approved for use with natural gas.

PLUMBING CODE NOTES

- 1. All work shall be in accordance with the 2009 International Plumbing Code (IPC) and Henrico County's requirements.
- 2. Test all sanitary waste, vent, storm, domestic water and gas piping in accordance with the 2009 IPC and Henrico County's requirements.
- 3. All gas piping shall be in accordance with the 2009 International Fuel Gas Code (IFGC) and Henrico County's requirements.
- 4. Test all gas piping in accordance with the 2009 IFGC and Henrico County's requirements.
- 5. All materials used in this project shall be installed in strict accordance with the manufacturer's written instructions as per IPC 303.2.
- 6. All piping penetrations through fire rated assemblies shall be properly fire-stopped in accordance with IPC 309.4.
- 7. The quantity of plumbing fixtures and determination of ADA accessibility has been provided by the Architect. Although this is deemed reasonable, Reames & Moyer, Inc. accepts no responsibility for information provided by others.
- 8. Handicapped use plumbing fixtures are designated in the Plumbing Fixture Schedule. Install fixtures in accordance with ANSI standards as per IPC 404. Insulate P-trap and hot & cold water supplies beneath handicapped lavatories and sinks (Tru-Bro covers or equal).
- 9. Where a trap seal is subject to loss by evaporation, a trap seal primer valve (a "SureSeal Trap Sealer") shall be installed as per IPC 1002.4.
- 10. All wall hydrants, hose bibbs and other appurtenances with hose and connections shall be provided with vacuum breakers or other means to prevent back flow as per IPC 608.3.
- 11. Provide pressure balanced mixing valve with integral stops at each shower and limit the hot water temperature to 120°F as per IPC 424.3.
- 12. Adjust hot water supply temperature to no higher than 110°F as per IPC 607.1.
- 13. Water heaters shall be of the energy efficient type for both thermal and stand by losses.
- 14. Provide temperature and pressure relief valves on each storage type water heater as per IPC 504.4. Pipe relief valve outlet full size to the adjacent janitor's sink.
- 15. Provide drain pans beneath all water heaters where leakage of the tanks will cause damage as per IPC 504.7.
- 16. Provide a reduced pressure backflow preventer (Watts 9309 or equal) at the domestic cold water service entrance to the building as per IPC 608.1. Provide strainer and soft seated check valve to minimize "spitting".
- 17. Provide a thermal expansion tank to control excessive pressures created by water storage heating equipment as per IPC 607.3.2.
- 18. Plumbing fixture flow rates shall not exceed the requirements of IPC 604.4.
- 19. A water hammer arrestor shall be installed where quick closing valves are utilized as per IPC 604.3.
- 20. Disinfect the domestic hot and cold water systems as per IPC 610.1.
- 21. All horizontal drains shall be provided with cleanouts located not more than 100' apart as per IPC 1003.1.
- 22. Cleanouts shall be installed at each change of direction in the building drain or horizontal waste lines greater than 45 degrees. Where more than one change of direction occurs in a run of piping, only one cleanout shall be required for each 40' of developed length of the drainage piping as per IPC 1003.3.
- 23. A cleanout shall be provided at the base of each soil or waste stack per IPC 1003.4.
- 24. A cleanout shall be provided within 10' developed length of the junction of the building drain and the building sewer as per IPC 1003.5.
- 25. Cleanouts shall be line size except that 4" cleanouts are acceptable on piping 4" and larger as per IPC 1003.1.
- 26. Sanitary drainage systems have been designed in strict accordance with IPC 710.
- 27. An open vent terminal shall terminate a minimum of 10' from any fresh air intake openings unless it is at least 2'-0" above the top of such opening as per IPC 904.5.
- 28. Vent piping systems have been designed in strict accordance with IPC 916.
- 29. Air admittance valves (Studor Mini Vent) shall be provided as shown on the drawings and installed in strict accordance with IPC 917. Do not install in ceiling plenum areas.
- 30. Roof drainage is provided by gutters and downspout except for the Entrance Canopy (Primary and emergency roof drainage has been sized for 3.3"/hr for Richmond, VA)
- 31. Gas piping exposed to the weather shall be protected with one coat of rust inhibiting paint. Provide pipe identification markers on all gas piping.
- 32. Gas piping has been sized for 2 PSI natural gas. Provide gas regulator at each piece of gas-fired equipment in order to reduce the pressure to 1" w.c. Provide regulators with vent limiters to eliminate vent piping when installed indoors. DO NOT INSTALL VENT LIMITERS ON REGULATORS LOCATED OUTDOORS.
- 33. Plumbing fixtures shall be commercial grade type - American Standard or equal. Water closets shall be Tank type. All plumbing fixtures shall be white (where applicable).
- 34. Water closets shall have elongated bowls with open front seats.
- 35. The area above the ceiling is a return air plenum. All materials located there shall be suitable for such use. Do not use PVC piping in this area.

PLUMBING FIXTURE SCHEDULE					
FIXTURE #	TYPE	WASTE	C.W.	H.W.	NOTES
P-1A	WATER CLOSET TANK TYPE	4"	1/2"	--	FLOOR MOUNTED STANDARD
P-2A1	WATER CLOSET TANK TYPE	4"	1/2"	--	FLOOR MOUNTED - RH ADA COMPLIANT
P-2A2	WATER CLOSET TANK TYPE	4"	1/2"	--	FLOOR MOUNTED - LH ADA COMPLIANT
P-4A	URINAL WALL HUNG	2"	3/4"	--	ADA COMPLIANT
P-5A	LAVATORY DROP-IN	2"	1/2"	1/2"	STANDARD
P-5B	LAVATORY WALL HUNG	2"	1/2"	1/2"	STANDARD
P-6A	LAVATORY DROP-IN	2"	1/2"	1/2"	ADA COMPLIANT
P-6B	LAVATORY WALL HUNG	2"	1/2"	1/2"	ADA COMPLIANT
P-8A	ELEG. WATER COOLER BU-LEVEL	2"	1/2"	--	ADA COMPLIANT
P-9C	HOP BASIN FLOOR MOUNT	2"	1/2"	1/2"	FIBERGLASS HOP BASIN
P-10A	STAINLESS STEEL SINGLE BOWL KITCHEN SINK	2"	1/2"	1/2"	ADA COMPLIANT
P-12A	SHOWER - TRANSFER - RH 38"W x 31"D	2"	1/2"	1/2"	FIBERGLASS SHOWER UNIT ADA COMPLIANT

WATER HEATER SCHEDULE						
TAG #	MODEL	CAPACITY	V/FW/HZ	KW	MANUFACTURER	ACCESSORIES
WH #1	FE-66-1	66 GAL.	240V/60	43/43	RAUD	PROVIDE RELIEF VALVE AND DRAIN PAN, VACUUM BREAKER, NON-SIMULTANEOUS WIRING
WH #2	DHC 3-3	INSTANT	208V/60	12.4/9PS	STIEBEL ELTRON	



50% DESIGN
DEVELOPMENT
6/30/2014



REVISIONS

PLUMBING FLOOR PLAN, SCHEDULES & NOTES
HCPD - CENTRAL PRECINCT
HENRICO COUNTY, VIRGINIA

DESIGNED BY:	J.B. Staley
DRAWN BY:	J.B. Staley
CHECKED BY:	R.A. REAMES
SCALE:	1/8" = 1'-0"
DATE:	6/30/14
SHEET NO:	P-1
SHEET 1 OF 1	